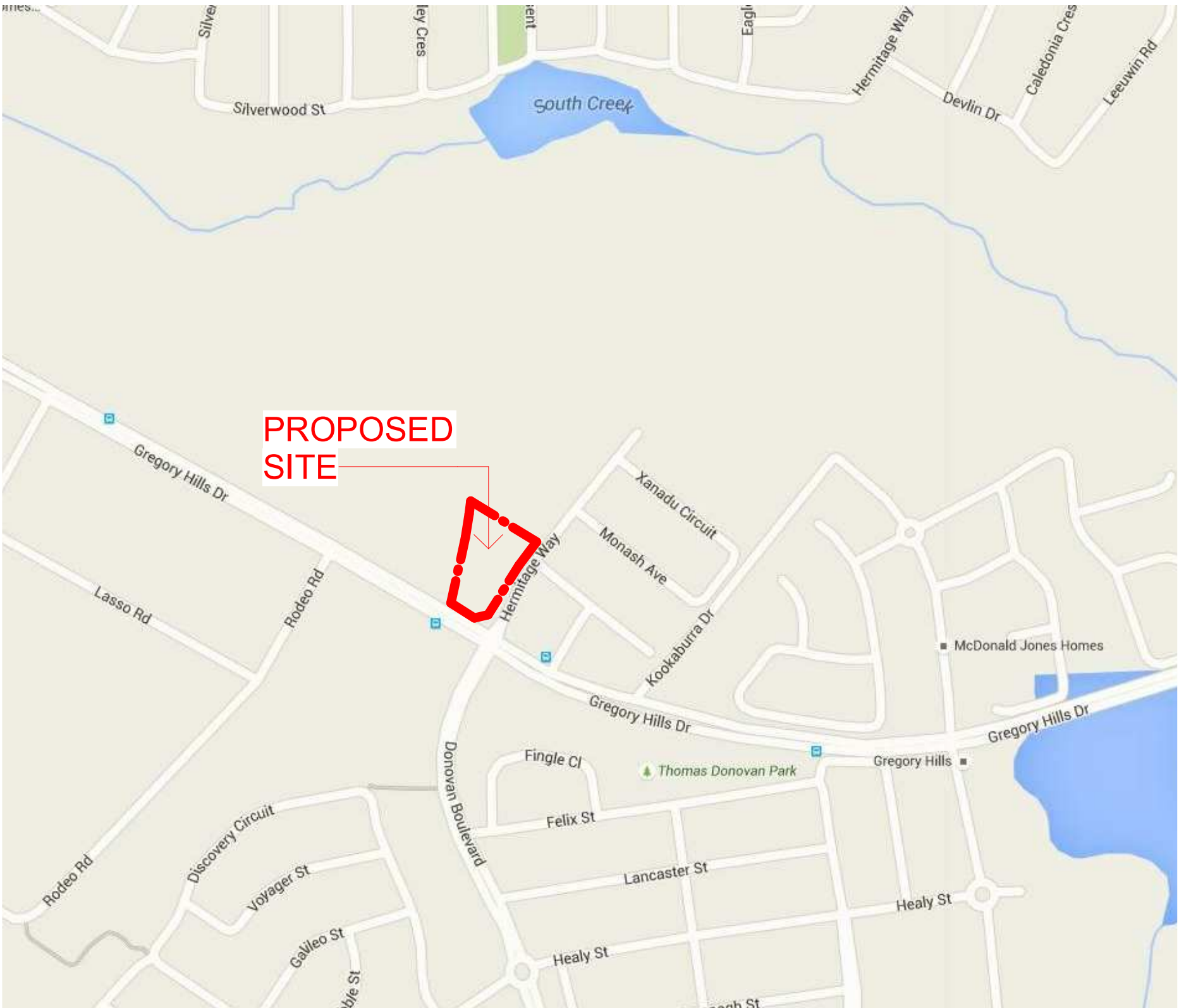


HERMITAGE HEALTHCARE
LOT 833 & 832, CNR HERMITAGE WAY
& GREGORY HILLS DRIVE
GLEDSDWOOD HILL
SECTION 4.55 APPLICATION

DRAWING NO.	REV	DRAWING TITLE
S4.55-D0000	B	COVER SHEET
S4.55-D0001	A	PERSPECTIVE 1
S4.55-D0002	A	PERPSECTIVE 2
S4.55-D0003	A	PERSPECTIVE 3
S4.55-D1000	B	GROUND LEVEL FLOOR PLAN
S4.55-D1001	A	LEVEL 1 FLOOR PLAN
S4.55-D1002	A	LEVEL 2 FLOOR PLAN
S4.55-D1003	A	LEVEL 3 FLOOR PLAN
S4.55-D1004	B	ROOF PLAN
S4.55-D1005	A	BASEMENT FLOOR PLAN
S4.55-D2000	A	SITE SECTIONS
S4.55-D3000	A	SITE ELEVATIONS
S4.55-D3001	A	BUILDING A ELEVATIONS SE AND SW
S4.55-D3002	A	BUILDING A ELEVATIONS NW AND NE
S4.55-D3003	A	BUILDING B ELEVATIONS SW AND SE
S4.55-D3004	A	BUILDING B ELEVATIONS NE AND NW
S4.55-D7000	B	SHADOW DIAGRAMS
S4.55-D8000	A	GFA CALCULATION



NOTE
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LEGEND

B	01.05.2019	Section 4.55 Application - response
A	23.01.2019	Section 4.55 Application
rev	date	amendment

REVISION



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ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.
ACN 069 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
COVER SHEET

SCALE @ A1 1 : 1 DATE MARCH 2017
DRAWN BY Author PROJECT 14018

S4.55-D0000 B

SECTION 4.55



APPROVED
DA/2016/172



CNR GREGORY HILLS DRIVE & HERMITAGE WAY

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LEGEND

REV	DATE	DESCRIPTION
1	08/03/2017	amendment

REVISION



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PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
PERSPECTIVE 1

SCALE @ A1 DATE MARCH 2017
DRAWN BY Author PROJECT 14018

S4.55-D0001

SECTION 4.55



APPROVED
DA/2016/172



VIEW LOOKING EAST FROM GREGORY HILLS DRIVE ACROSS THE RIPARIAN ZONE

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LEGEND

A.	23/01/2019	Section 4.55 Application	
rev.	date	amendment	

REVISION



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PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
PERPSECTIVE 2

SCALE @ A1 **DATE** MARCH 2017
DRAWN BY Author **PROJECT** 14018

S4.55-D0002 A

SECTION 4.55



APPROVED
DA/2016/172



WESTERN VIEW ON HERMITAGE WAY

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LEGEND

A	2017/2019	Section 4.55 Application
rev	date	amendment

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

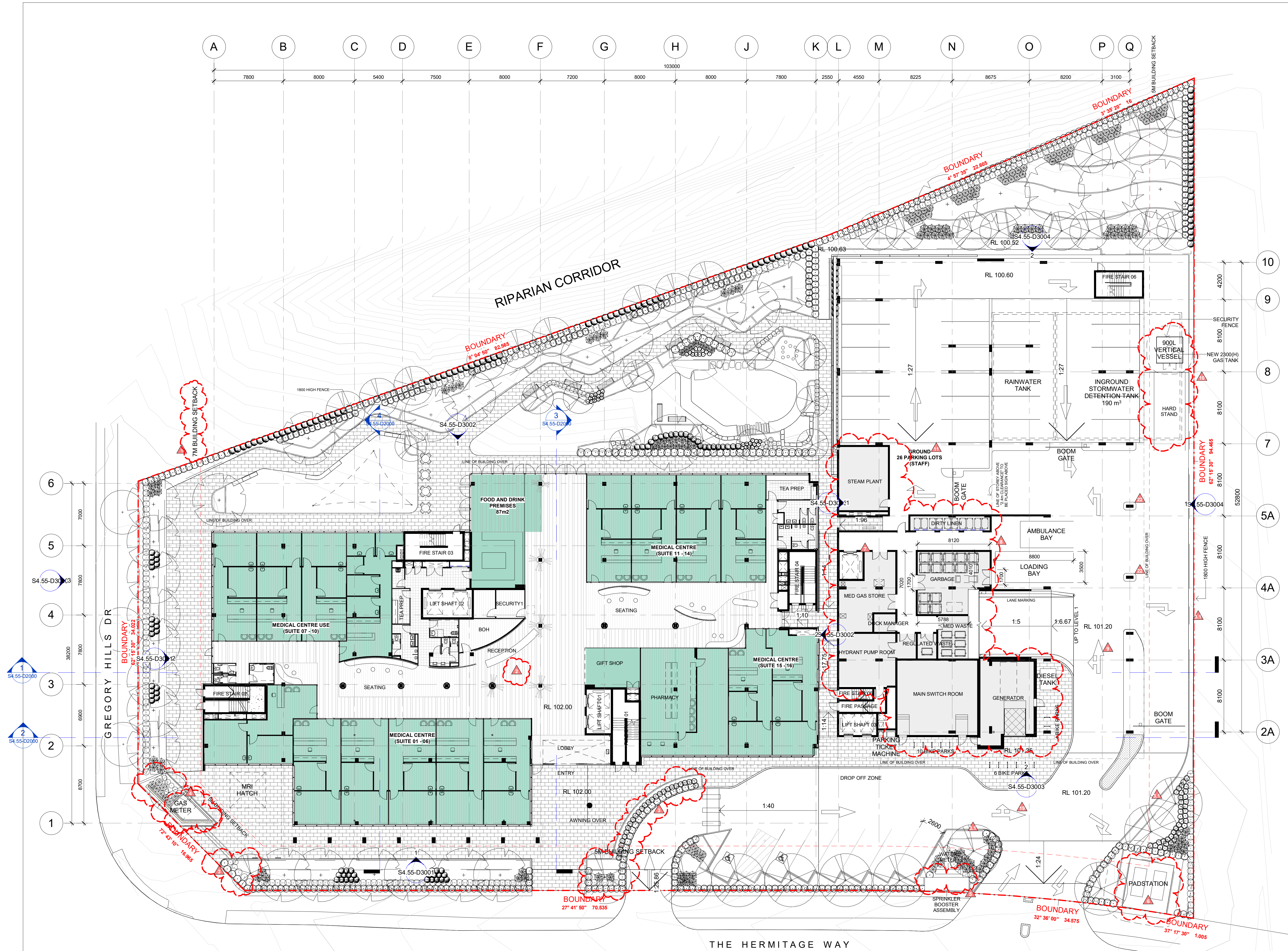
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
PERSPECTIVE 3

SCALE @ A1 DATE MARCH 2017
DRAWN BY Author PROJECT 14018

S4.55-D0003 A



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LEGEND

PARKING CALCULATION	
BIKE PARKS:	
STAFF	= 11
VISITORS	= 13
TOTAL	= 24
CAR PARKS:	
GROUND	= 26
(STAFF) (FRONT PARKING)	= 7
LEVEL 01	= 58
LEVEL 02	= 59
LEVEL 03	= 63
TOTAL	= 213

LEGEND - USE	
	MEDICAL - CENTRE USE
	HOSPITAL USE
	PLANT / STORE

BED COUNTS	
LEVEL 1 = 14	
LEVEL 2 = 53 (INCL. 11 COTS)	
LEVEL 3 = 11	
TOTAL = 79	

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3j)
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof. Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3j)
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

B	01.05.2019	Section 4.55 Application - response
A	23.01.2019	Section 4.55 Application
REV	DATE	AMENDMENT

REVISION



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ANTHONY VAVAYIS & ASSOCIATES PTY. LTD.
ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

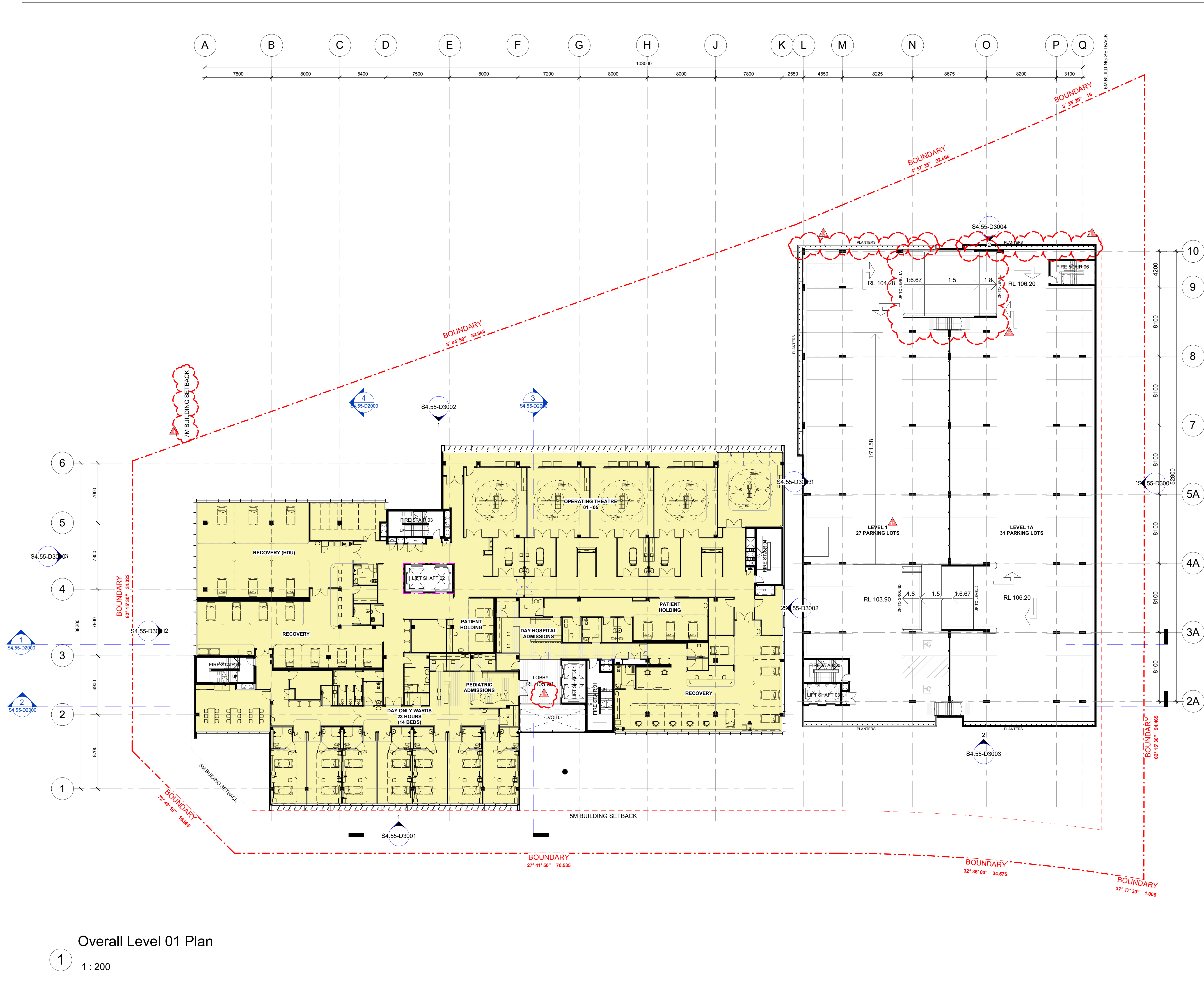
CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
GROUND LEVEL FLOOR PLAN

SCALE @ A1 1: 200 **DATE** MARCH 2017
DRAWN BY DK **PROJECT** 14018

S4.55-D1000

GROUND FLOOR PLAN
1 : 200



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LEGEND

PARKING CALCULATION

BIKE PARKS:
STAFF = 11
VISITORS = 13
TOTAL = 24

CAR PARKS:
GROUND = 26
(STAFF) = 7
(FRONT PARKING) = 7
LEVEL 01 = 58
LEVEL 02 = 59
LEVEL 03 = 63
TOTAL = 213

LEGEND - USE

MEDICAL - CENTRE USE
HOSPITAL USE
PLANT / STORE

BED COUNTS

LEVEL 1 = 14
LEVEL 2 = 53 (INCL. 11 COTS)
LEVEL 3 = 11
TOTAL = 79

CHANGE DESCRIPTION

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof. Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3)c
20	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3)a
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

REVISION	DATE	AMENDMENT
1	20/01/2019	Section 4.55 Application

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

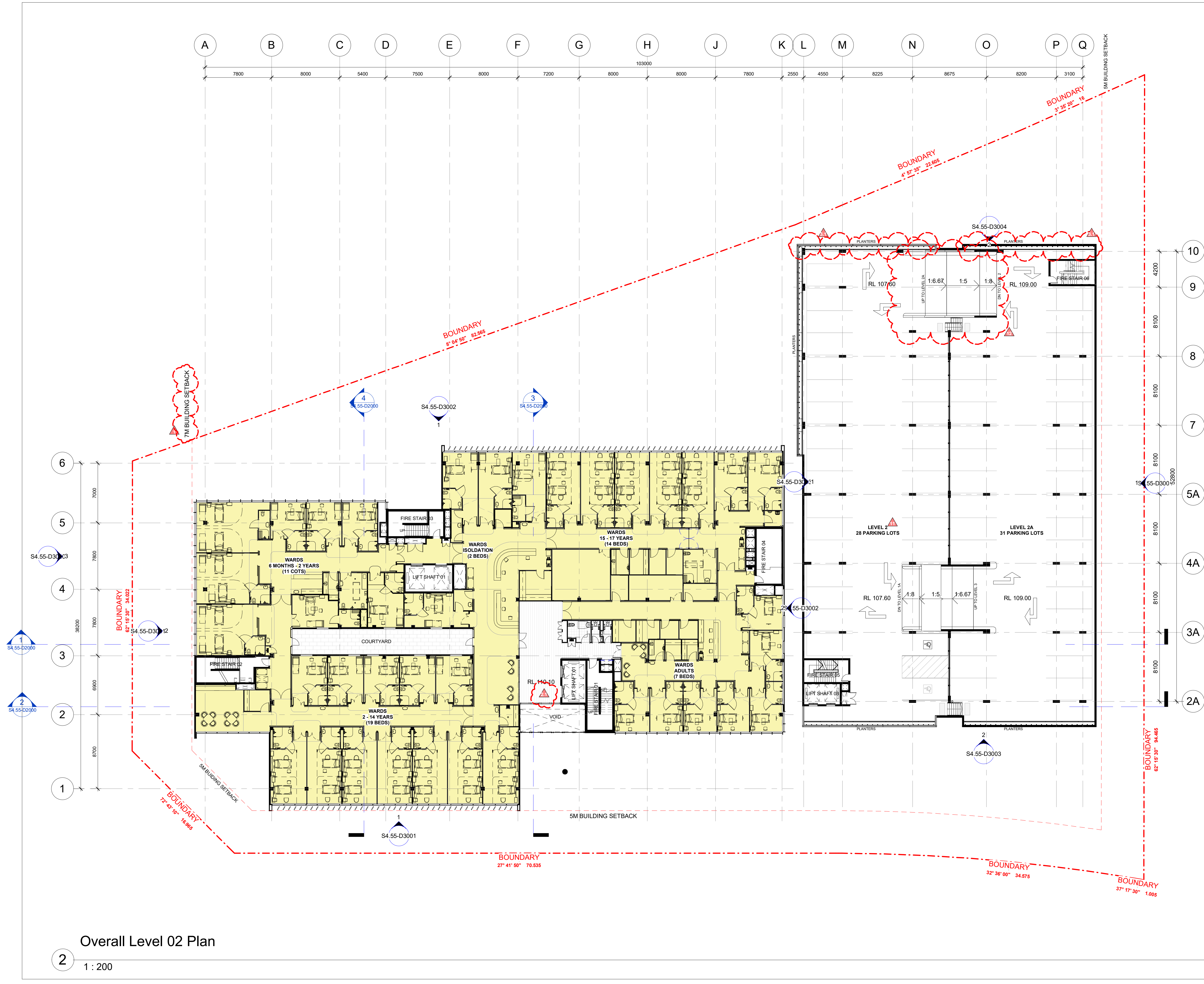
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
LEVEL 1 FLOOR PLAN

SCALE @ A1 1:200 **DATE** MARCH 2017
DRAWN BY DK **PROJECT** 14018

S4.55-D1001 A



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LEGEND

PARKING CALCULATION	
BIKE PARKS:	
STAFF	= 11
VISITORS	= 13
TOTAL	= 24
CAR PARKS:	
GROUND	= 26
(STAFF)	= 7
FRONT PARKING	= 7
LEVEL 01	= 58
LEVEL 02	= 59
LEVEL 03	= 63
TOTAL	= 213

LEGEND - USE	
	MEDICAL - CENTRE USE
	HOSPITAL USE
	PLANT / STORE

BED COUNTS	
LEVEL 1 = 14	
LEVEL 2 = 53 (INCL. 11 COTS)	
LEVEL 3 = 11	
TOTAL = 79	

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof.
16	Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
17	Proposed mechanical duct and plant for staircase pressuriser
18	Increase building basement
19	New underground rainwater tank
20	Combined left and through arrow per Development Consent Condition No. (3)c
21	One left turn only lane to exit onto The Heritage Way is provided per Development Consent (3)a
22	Omit approved Level 3 roof mounted AC plant and screens
23	Additional columns
24	Proposed services linkbridge
25	Proposed roof air extract duct and fan
26	Increase building height
27	Change of use
28	Amend glazing arrangement

A	1	23/01/2019	Section 4.55 Application	
rev		date	amendment	

REVISION



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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

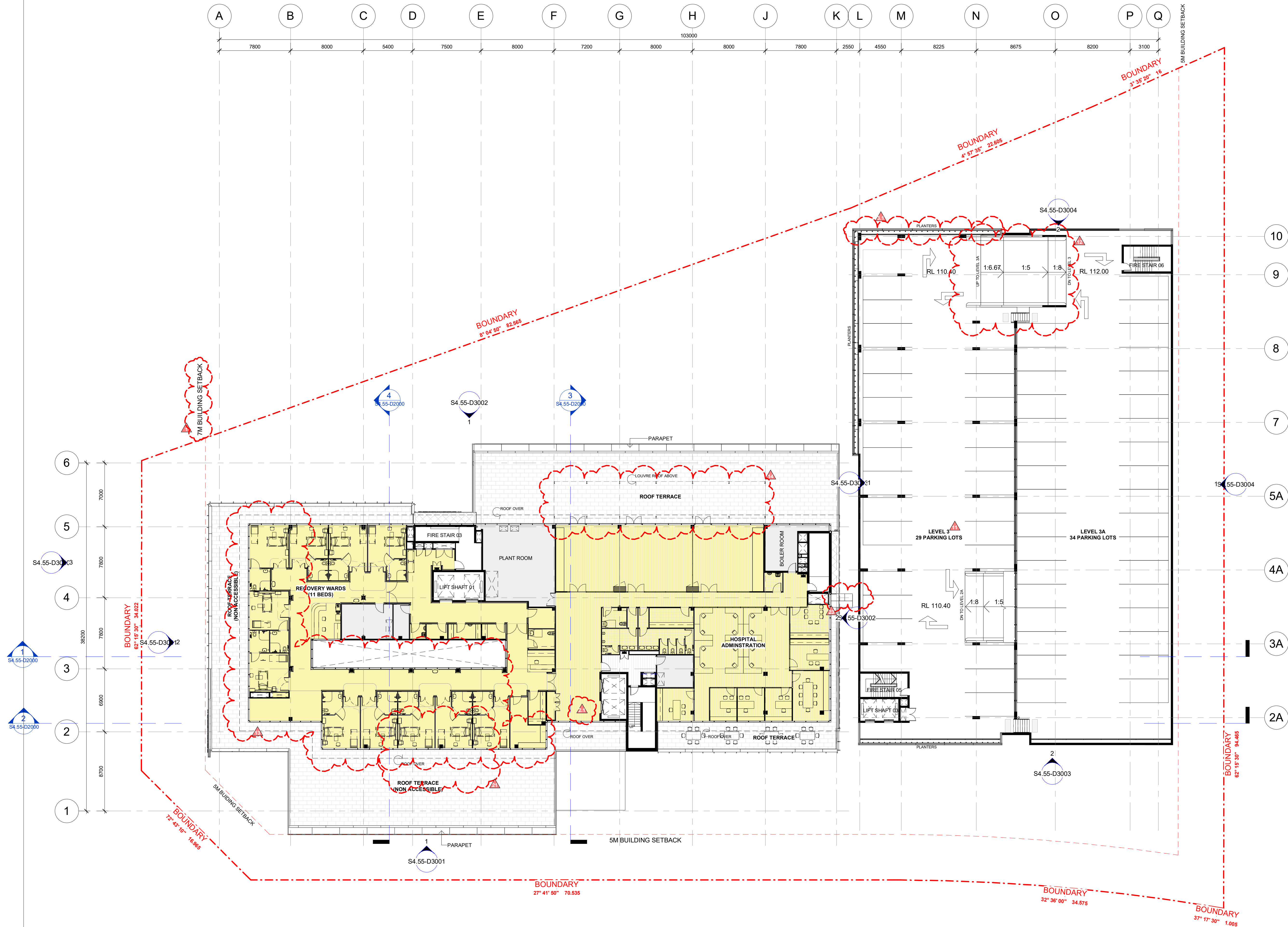
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
LEVEL 2 FLOOR PLAN

SCALE @ A1 1 : 200 **DATE** MARCH 2017
DRAWN BY DK **PROJECT** 14018

S4.55-D1002 A



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LEGEND

PARKING CALCULATION	
BIKE PARKS:	
STAFF	= 11
VISITORS	= 13
TOTAL	= 24
CAR PARKS:	
GROUND	= 26
(STAFF)	= 7
(FRONT PARKING)	= 7
LEVEL 01	= 58
LEVEL 02	= 59
LEVEL 03	= 63
TOTAL	= 213

LEGEND - USE	
	MEDICAL - CENTRE USE
	HOSPITAL USE
	PLANT / STORE

BED COUNTS	
LEVEL 1 = 14	
LEVEL 2 = 53 (INCL. 11 COTS)	
LEVEL 3 = 11	
TOTAL = 79	

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof.
16	Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
17	Proposed mechanical duct and plant for staircase pressuriser
18	Increase building basement
19	New underground rainwater tank
20	Combined left and through arrow per Development Consent Condition No. (3)c
21	One left turn only lane to exit onto The Heritage Way is provided per Development Consent (3)a
22	Omit approved Level 3 roof mounted AC plant and screens
23	Additional columns
24	Proposed services linkbridge
25	Proposed roof air extract duct and fan
26	Increase building height
27	Change of use
28	Amend glazing arrangement

REVISION	DATE	AMENDMENT
1	2021/09/01	Section 4.55 Application

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

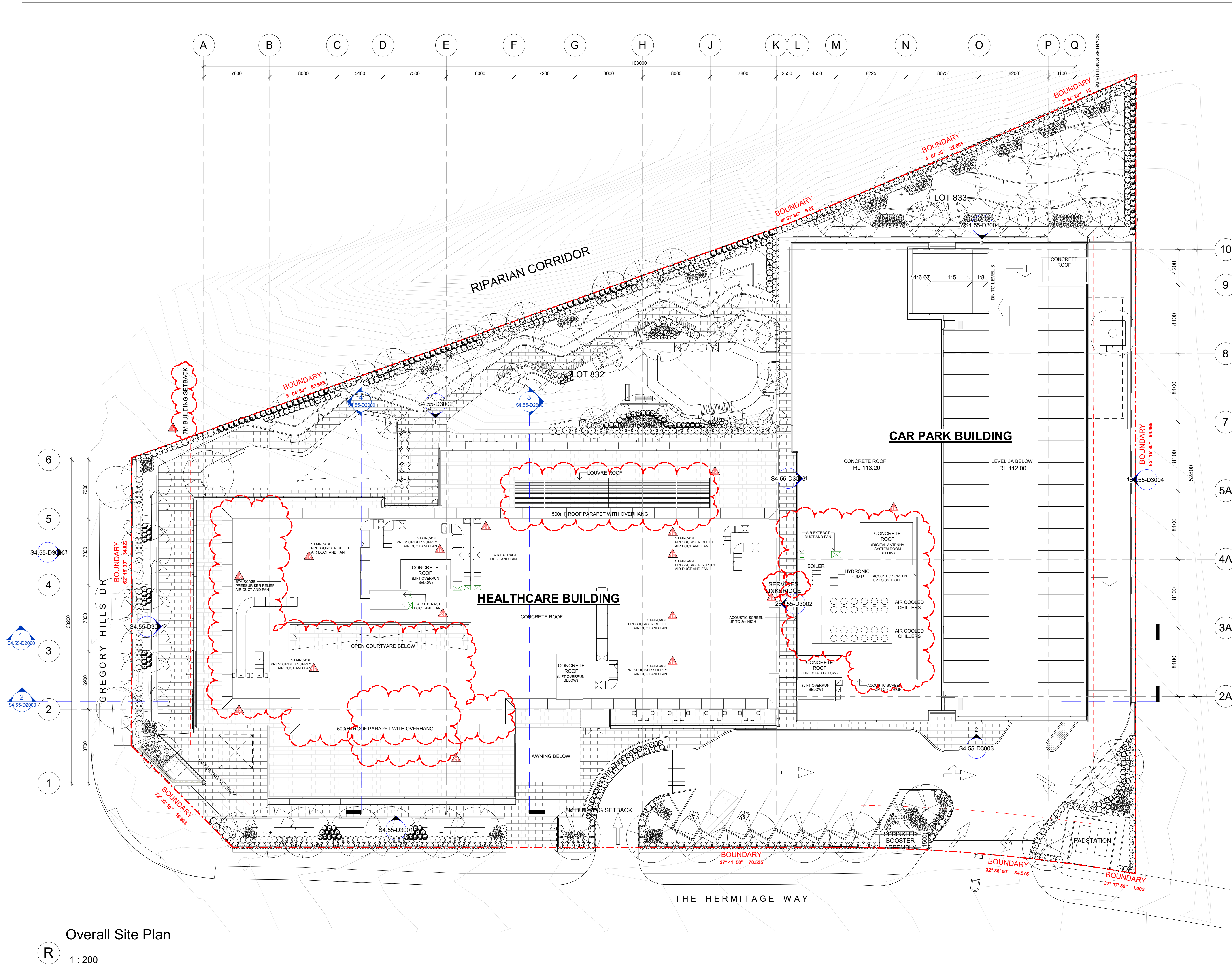
DRAWING TITLE
LEVEL 3 FLOOR PLAN

SCALE @ A1 1 : 200 DATE MARCH 2017
DRAWN BY DK PROJECT 14018

S4.55-D1003 A

Overall Level 03 Plan

3 1 : 200



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LEGEND

PARKING CALCULATION

BIKE PARKS:	
STAFF	= 11
VISITORS	= 13
TOTAL	= 24
CAR PARKS:	
GROUND	= 26
(STAFF)	= 7
FRONT PARKING	= 7
LEVEL 01	= 58
LEVEL 02	= 59
LEVEL 03	= 63
TOTAL	= 213

LEGEND - USE

	MEDICAL - CENTRE USE
	HOSPITAL USE
	PLANT / STORE

BED COUNTS

LEVEL 1 = 14
LEVEL 2 = 53 (INCL. 11 COTS)
LEVEL 3 = 11
TOTAL = 79

CHANGE DESCRIPTION

ITEM	CHANGE DESCRIPTION
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6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3j)
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
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15	Update plant layout and acoustic screen location on Car park Roof.
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19	New underground rainwater tank
20	Combined left and through arrow per Development Consent Condition No. (3j)
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

REVISION

REV	DATE	DESCRIPTION
1	01.05.2019	Section 4.55 Application - response
2	23.01.2019	Section 4.55 Application - amendment

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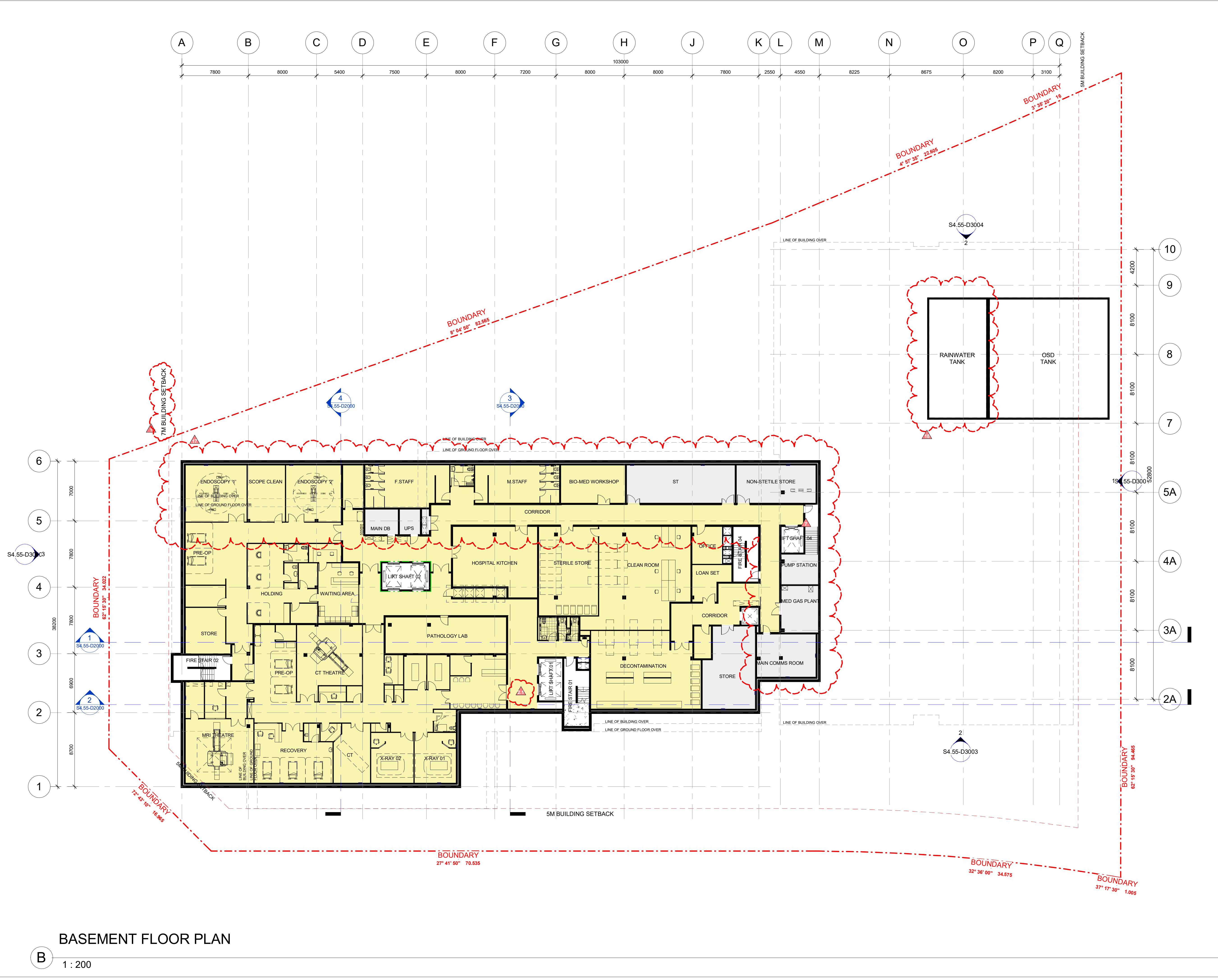
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
ROOF PLAN

SCALE @ A1 1: 200 **DATE** MARCH 2017
DRAWN BY/DK **PROJECT** 14018

S4.55-D1004



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LEGEND

PARKING CALCULATION

BIKE PARKS:
STAFF = 11
VISITORS = 13
TOTAL = 24

CAR PARKS:
GROUND = 26
(STAFF) (FRONT PARKING) = 7
LEVEL 01 = 58
LEVEL 02 = 59
LEVEL 03 = 63
TOTAL = 213

LEGEND - USE

MEDICAL - CENTRE USE
HOSPITAL USE
PLANT / STORE

BED COUNTS
LEVEL 1 = 14
LEVEL 2 = 53 (INCL. 11 COTS)
LEVEL 3 = 11
TOTAL = 79

CHANGE DESCRIPTION

1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof. Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3)c
20	One left turn only lane to exit onto The Heritage Way is provided per Development Consent (3)a
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

REVISION

A	23/01/2019	Section 4.55 Application	
rev	date	amendment	

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
BASEMENT FLOOR PLAN

SCALE @ A1 1 : 200 **DATE** MARCH 2017
DRAWN BY DK **PROJECT** 14018

S4.55-D1005 A

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LEGEND

PARKING CALCULATION

BIKE PARKS:
STAFF = 11
VISITORS = 13
TOTAL = 24

CAR PARKS:
GROUND (STAFF) = 26
FRONT PARKING = 7
LEVEL 01 = 58
LEVEL 02 = 59
LEVEL 03 = 63
TOTAL = 213

LEGEND - USE

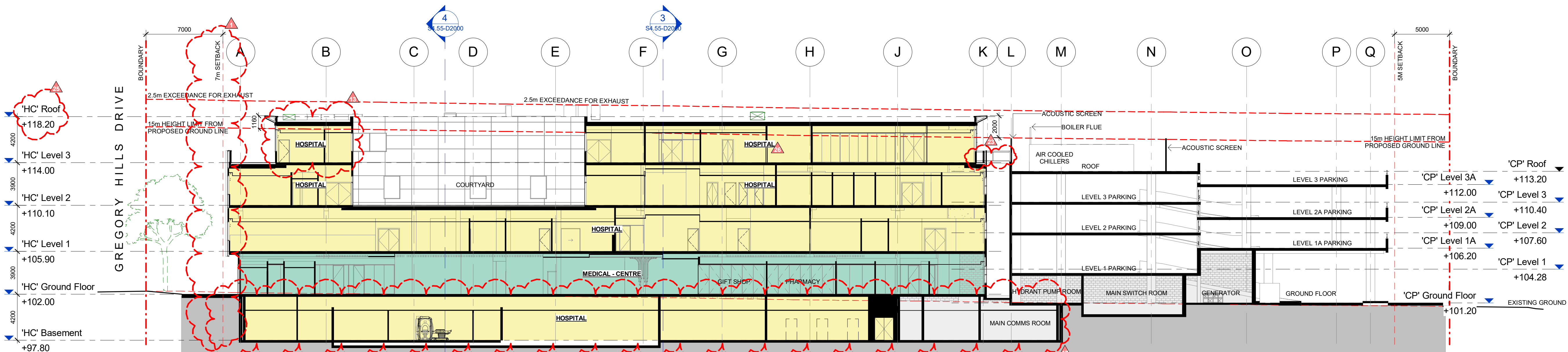
MEDICAL - CENTRE USE
HOSPITAL USE
PLANT / STORE

BED COUNTS

LEVEL 1 = 14
LEVEL 2 = 63 (INCL. 11 COTS)
LEVEL 3 = 11
TOTAL = 79

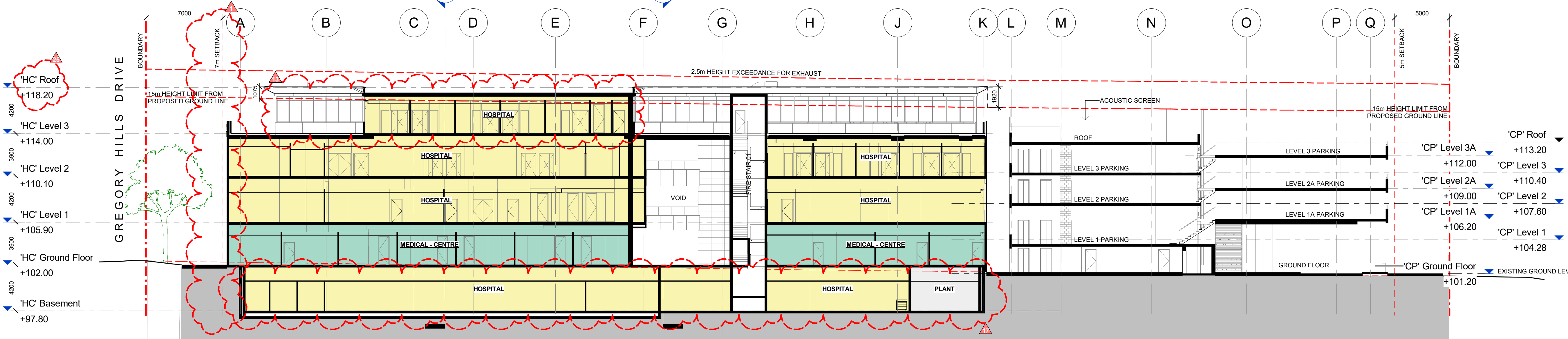
CHANGE DESCRIPTION

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3j)
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof. Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3j)
20	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3ja)
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement



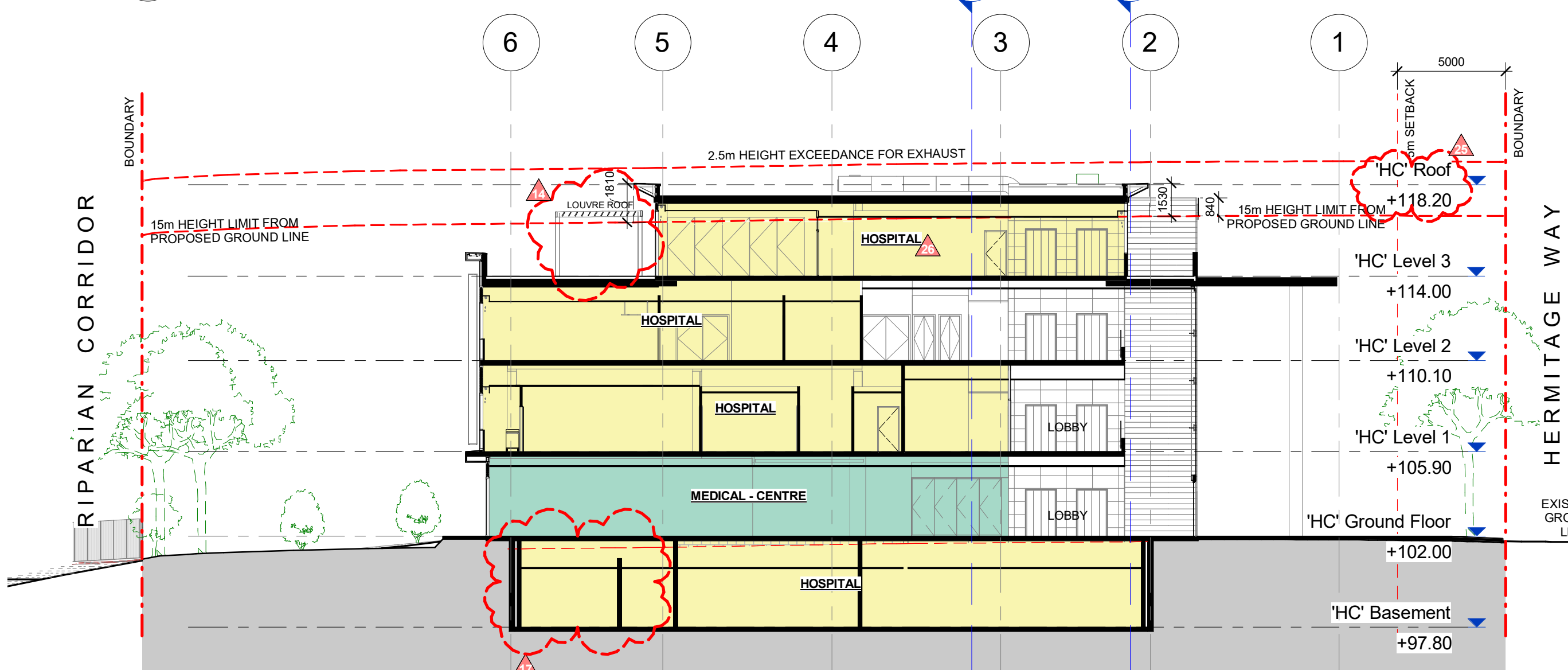
Section 01

1 1:200



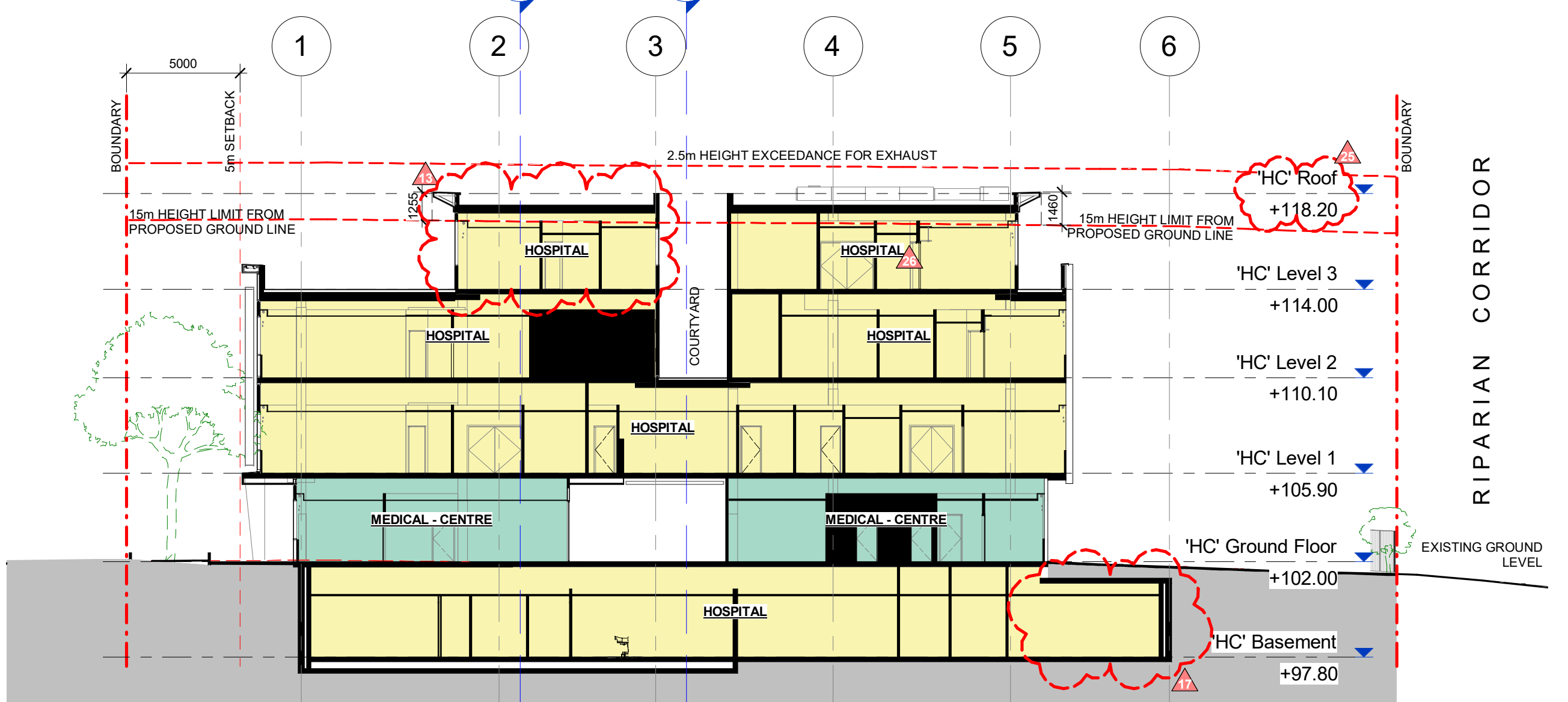
Section 02

2 1:200



Section 03

3 1:200



Section 04

4 1:200

REVISION	DATE	AMENDMENT
1	2021-2019	Section 4.55 Application

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
SITE SECTIONS

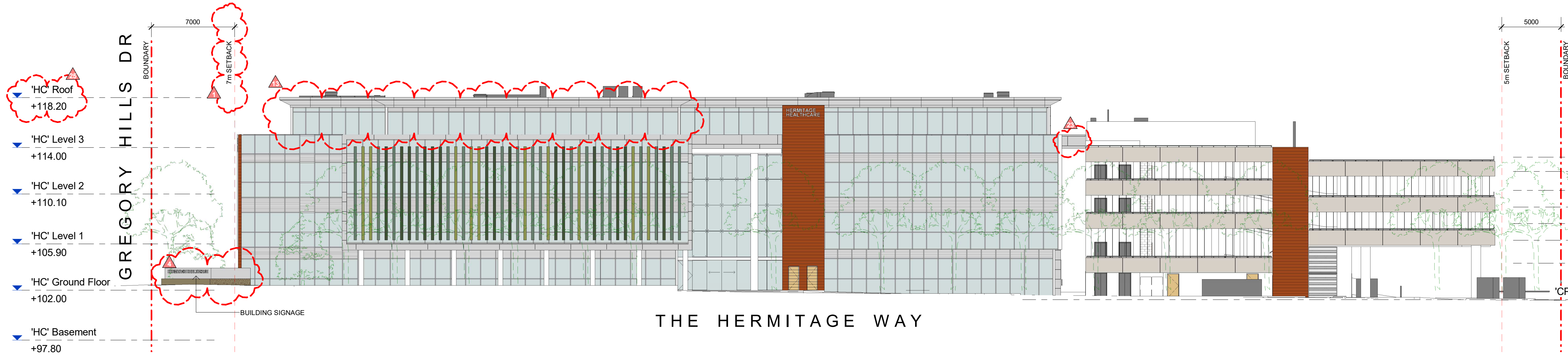
SCALE @ A1 1:200 DATE MARCH 2017
DRAWN BY DK PROJECT 14018

S4.55-D2000 A

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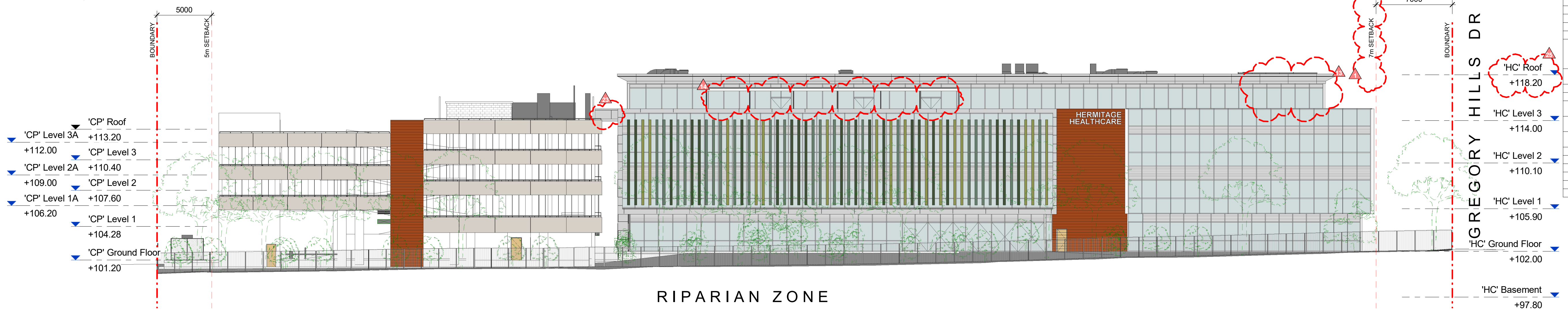
LEGEND

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3j)
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
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14	New roof terrace pergola
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18	Increase building basement
19	New underground rainwater tank
20	Combined left and through arrow per Development Consent Condition No. (3j)
21	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3j)
22	Omit approved Level 3 roof mounted AC plant and screens
23	Additional columns
24	Proposed services linkbridge
25	Proposed roof air extract duct and fan
26	Increase building height
27	Change of use
28	Amend glazing arrangement



SOUTH EAST ELEVATION

1 1 : 200



SOUTH WEST ELEVATION

2 1 : 200



NORTH WEST ELEVATION

3 1 : 200

A	23/01/2019	Section 4.55 Application	amendment
rev	date		

REVISION



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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

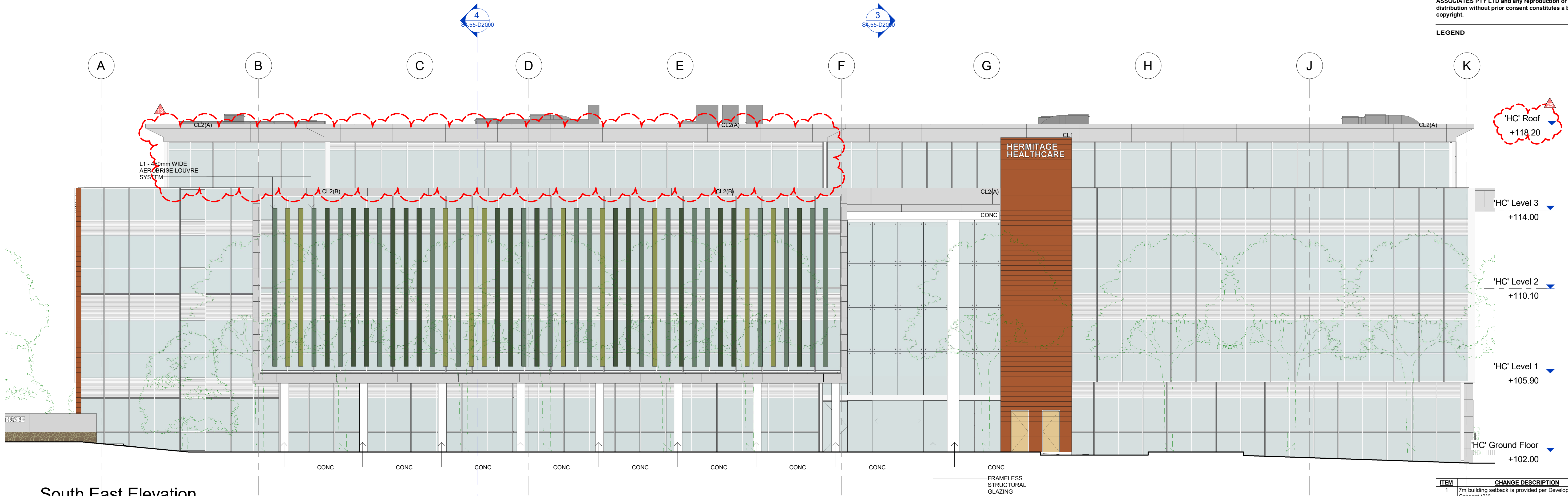
DRAWING TITLE
SITE ELEVATIONS

SCALE @ A1 1 : 200 DATE MARCH 2017
DRAWN BY DK PROJECT 14018

S4.55-D3000 A

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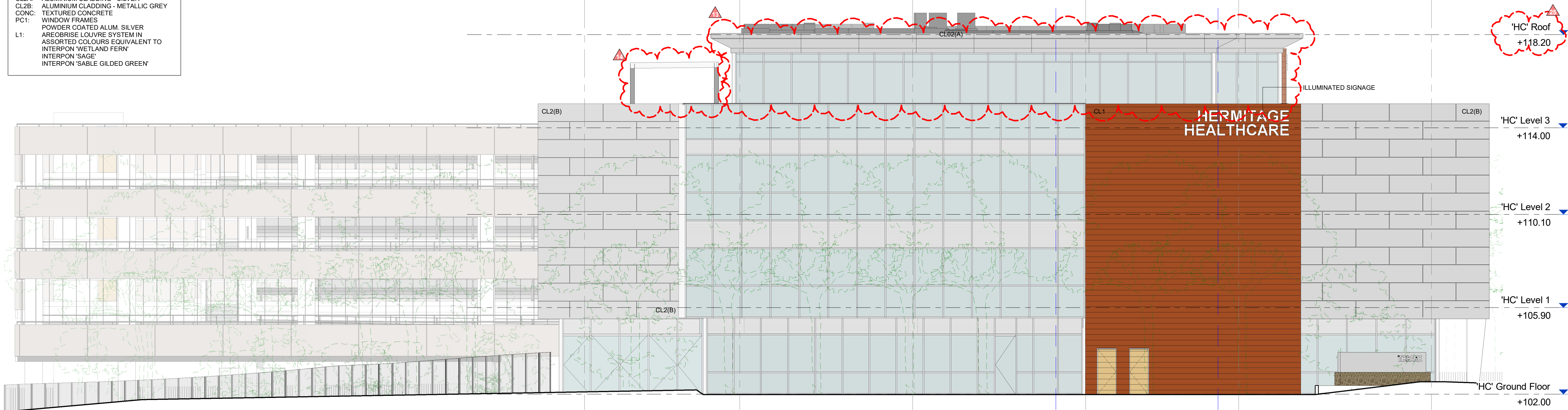
LEGEND



South East Elevation

1
1 : 100

MATERIALS LEGEND	
MB1:	RENDERED BLOCKWORK EQUAL TO DULUX CURRENCY CREEK
CL1:	PODWER COATED ALUM. CLADDING WESTERN RED CEDAR
CL2A:	ALUMINIUM CLADDING - SILVER
CL2B:	ALUMINIUM CLADDING - METALLIC GREY
CONC:	TEXTURED CONCRETE
PC1:	WINDOW FRAMES POWDER COATED ALUM. SILVER
L1:	AEROBRISSE LOUVRE SYSTEM IN ASSORTED COLOURS EQUIVALENT TO INTERPON 'WETLAND FERN' INTERPON 'SAGE' INTERPON 'SAGE GILDED GREEN'



South West Elevation

2
1 : 100

ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3	Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2 (4.1)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New padstation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update plant layout and acoustic screen location on Car park Roof. Omit 1x approved Chiller and add new DAS room, Boiler + Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3)c
20	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3)a
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement
28	Amend glazing arrangement

REVISION

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NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

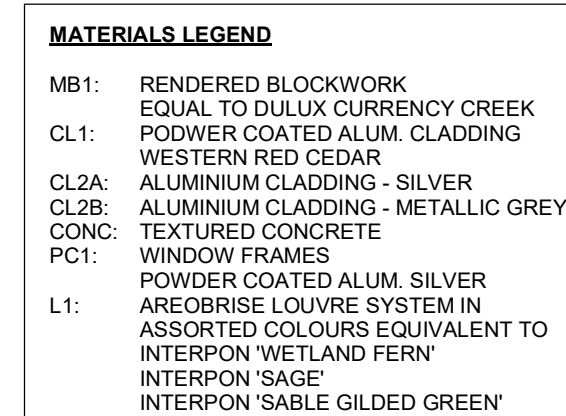
CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
BUILDING A ELEVATIONS SE
AND SW

SCALE @ A1As indicated **DATE** MARCH 2017
DRAWN BY/DK **PROJECT** 14018

S4.55-D3001 A

LEGEND



ITEM	CHANGE DESCRIPTION
1	7m building setback is provided per Development Consent (3j)
2	Update ground level Medical Centre fit-out layout
2.1	Hospital fit-out included
3.1	3 Additional Landscaping
3.1	Additional Landscaping per Development Consent No. 2.0(11)
4	New screening around Gas Meter at boundary with building signage integrated
5	Adjust position of Sprinkler Booster
6	New sanitation
7	New BOH lift
8	Update BOH layout
9	A through and left arrow is provided per Development Consent (3j)c
10	New vertical gas tank and security fencing
11	Update parking lot numbers
12	Change 2x 1-way to 1x 2-way driveway
13	Increase building area
14	New roof terrace pergola
15	Update layout and acoustic screen location on Car Park Roof
16	Omni 1 approved Chiller and add new DAS room, Boiler x Hydronic Pump
16	Proposed mechanical duct and plant for staircase pressuriser
17	Increase building basement
18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. 3(j)c
20	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3j)a
21	Omni approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

A	23.01.2019	Section 4.55 Application
rev	date	amendment

REVISION



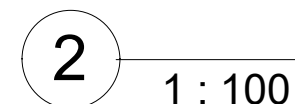
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

DRAWING TITLE
BUILDING A ELEVATIONS NW
AND NE

SCALE @ A1As indicated	DATE	MARCH 2017
DRAWN BYDK	PROJECT	14018

S4.55-D3002 ^A

1 1 : 100



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LEGEND

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22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
26	Change of use
27	Amend glazing arrangement

REV	DATE	DESCRIPTION
1	23/01/2019	Section 4.55 Application
2	08/03/2018	amendment

REVISION



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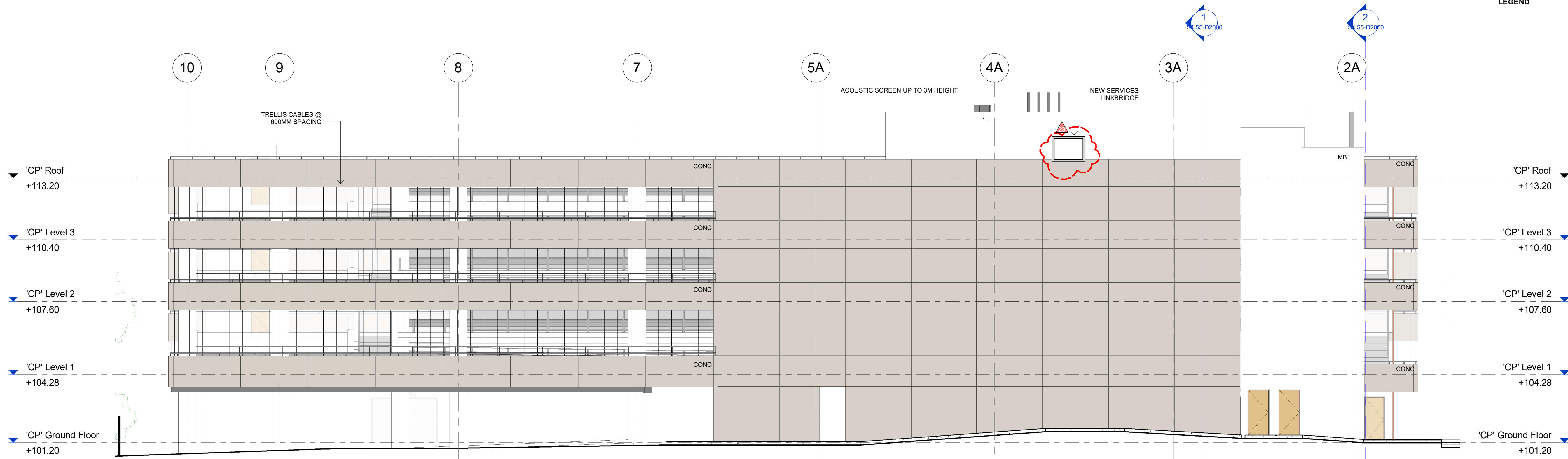
PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
BUILDING B ELEVATIONS SW
AND SE

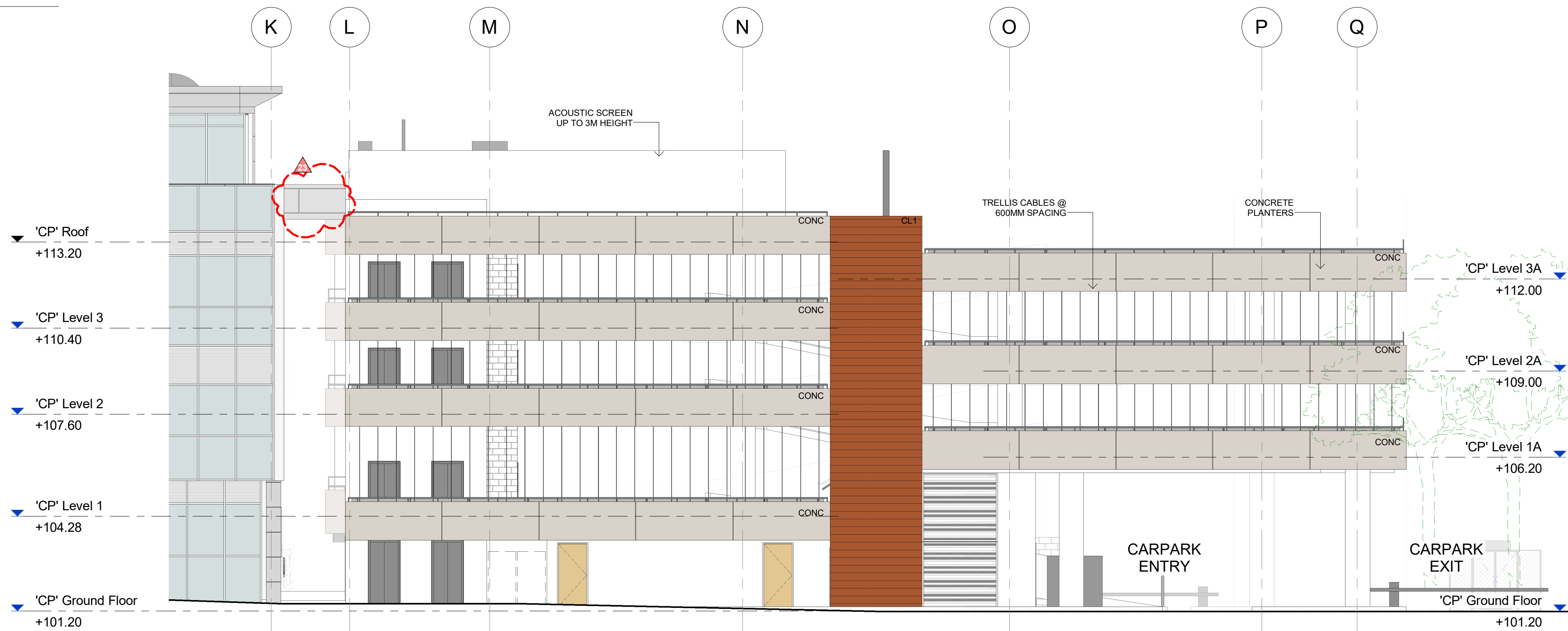
SCALE @ A1As indicated DATE MARCH 2017
DRAWN BYDK PROJECT 14018

S4.55-D3003 A



South West Elevation

1 1:100

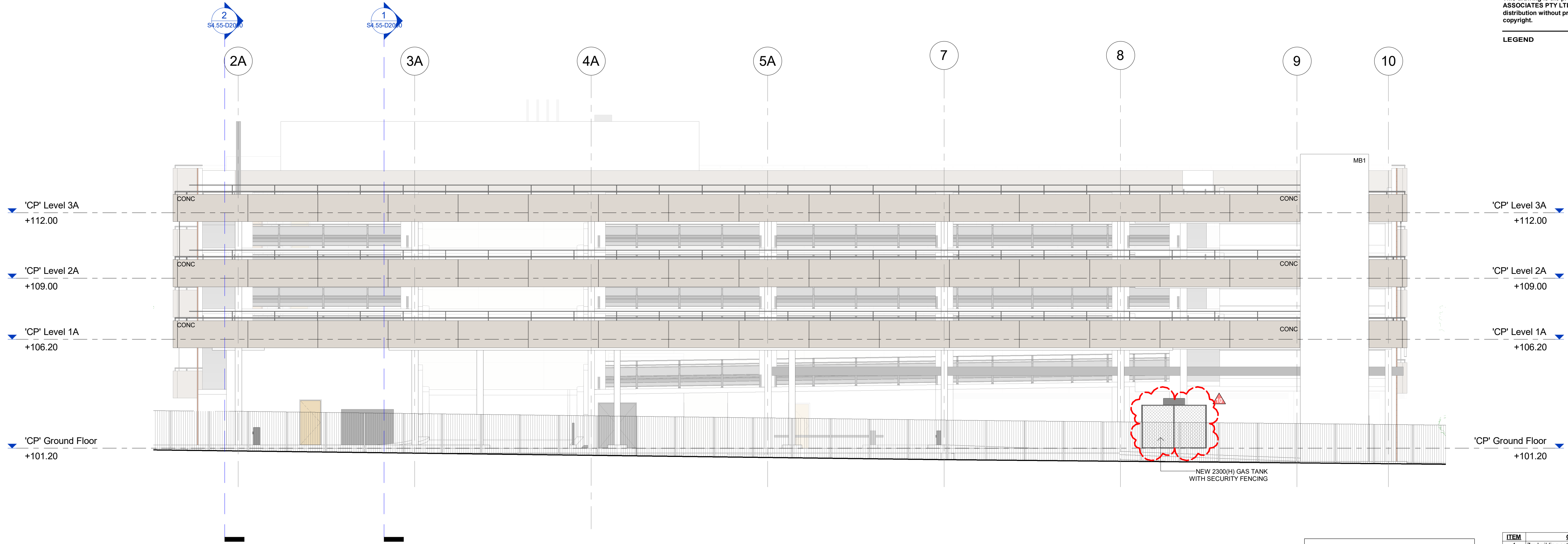


South East Elevation

2 1:100

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LEGEND

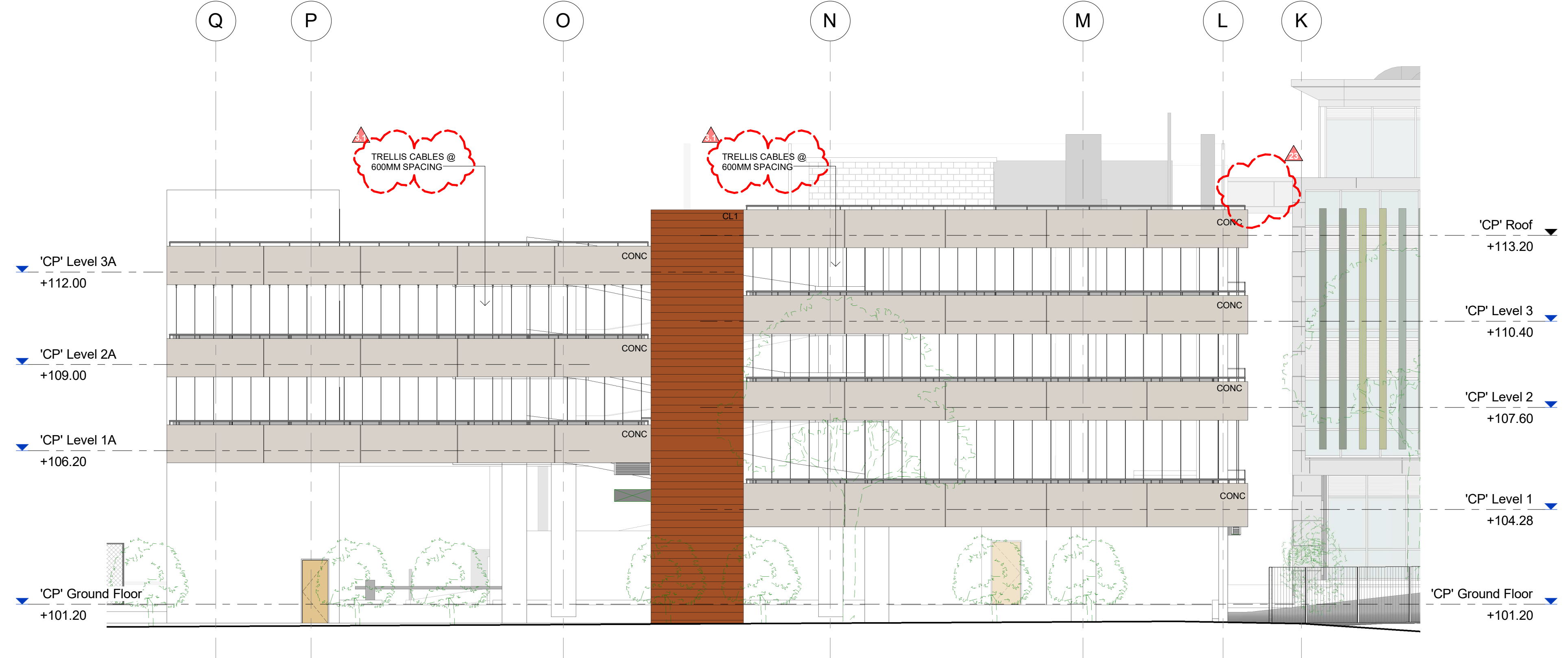


North East Elevation

1
1 : 100

MATERIALS LEGEND	
MB1:	RENDERED BLOCKWORK EQUAL TO DULUX CURRENCY CREEK
CL1:	POWDER COATED ALUM. CLADDING WESTERN RED CEDAR
CL2A:	ALUMINIUM CLADDING - SILVER
CL2B:	ALUMINIUM CLADDING - METALLIC GREY
CONC:	TEXTURED CONCRETE
PC1:	WINDOW FRAMES POWDER COATED ALUM. SILVER
L1:	AREOBRISSE LOUVRE SYSTEM IN ASSORTED COLOURS EQUIVALENT TO INTERPON 'WETLAND FERN' INTERPON 'SAGE' INTERPON 'SAGE' GILDED GREEN

ITEM	CHANGE DESCRIPTION
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7	New BOH lift
8	Update BOH layout
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18	New underground rainwater tank
19	Combined left and through arrow per Development Consent Condition No. (3)c
20	One left turn only lane to exit onto The Hermitage Way is provided per Development Consent (3)a
21	Omit approved Level 3 roof mounted AC plant and screens
22	Additional columns
23	Proposed services linkbridge
24	Proposed roof air extract duct and fan
25	Increase building height
1, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25	Revised glazing arrangement



North West Elevation

2
1 : 100

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ACN 089 737 935
NOMINATED ARCHITECT - ANTHONY VAVAYIS NO.5243

PROJECT TITLE
HERMITAGE HEALTHCARE
Lot 832 & 833, Cnr Hermitage Way
& Gregory Hills Drive, Gledswood Hill

CLIENT
Hermitage Healthcare Pty Ltd

DRAWING TITLE
BUILDING B ELEVATIONS NE
AND NW

SCALE @ A1As indicated DATE MARCH 2017
DRAWN BYDK PROJECT 14018

S4.55-D3004 A

HERMITAGE HEALTHCARE

Lot 832 & 833, Cnr Hermitage Way &
Gregory Hills Drive, Gledswood Hill
Section 4.55

DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
L-000	COVER SHEET	N/A
L-C100	LANDSCAPE MASTERPLAN RENDER	1:200
L-100	LANDSCAPE MASTERPLAN	1:200
L-101	LANDSCAPE PLAN A	1:100
L-102	LANDSCAPE PLAN B	1:100
L-103	LANDSCAPE PLAN C	1:100
L-104	LANDSCAPE PLAN D	1:100
L-501	LANDSCAPE SPECIFICATION & PLANT SCHEDULE	N/A
L-502	LANDSCAPE DETAILS	As Shown

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B	Section 4.55	NPE	RS	28.04.2019
A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:

Client:
Hermitage Healthcare Pty Ltd

Architect:
Anthony Vavayis + Associates

Project:
Hermitage Health Care
Lot 832 & 833, Cnr Hermitage Way &
Gregory Hills Drive, Gledswood Hill

S I T E I M A G E

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

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Site Image (NSW) Pty Ltd
ABN 44 801 262 380



Landscape Architects

SECTION 4.55

Drawing Name:
Cover Sheet

Scale:		Sheet _ of _
Job Number:	Drawing Number:	Issue:
SS18-3998	L-000	B



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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B	Section 4.55	NPE	RS	29.04.2019
A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

LEGEND

Tree to be Retained

Proposed Tree Planting (refer planting plans)

Proposed Shrub / Accent Planting (refer planting plans)

Proposed Groundcover & Grass Planting (refer planting plans)

Turf (refer specifications)

P1 - Paving Type 1 Insitu Concrete Path

P2 - Paving Type 2 Unit Pavers

P3 - Paving Type 3 Composite Timber Decking

P4 - Paving Type 4 Softleaf Mulch

P5 - Paving Type 5 Artificial Turf

TE - Timber Edging (refer materials schedule)

SE - Steel Edging (refer materials schedule)

Sandstone Stepping Stones (refer materials schedule)

Timber Sleeper Path (refer materials schedule)

Sandstone Log Bench (refer materials schedule)

Timber Stump Steppers (refer materials schedule)

Balancing Beam (refer materials schedule)

Timber Totems (refer materials schedule)

Pot Plants (refer planting plans & materials schedule)

TS1 - Table Setting 1 (refer materials schedule)

BS1 - Bench Seat 1 (refer materials schedule)

BS2 - Bench Seat 2 (refer materials schedule & details)

BS3 - Bench Seat 3 (refer materials schedule & details)

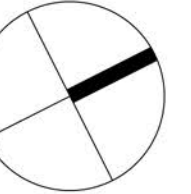
HT - Hose Tap (refer Hydraulic docs)

BL - Bollard Light (Refer Elec. Eng. Drawings)

UL - Uplight (Refer Elec. Eng. Drawings)

Grated Inlet Pit (Refer Civil Drawings)

Key Plan:



Client:
Hermitage Healthcare Pty Ltd

Architect:
Anthony Vavayis + Associates

Project:
Hermitage Health Care
Lot 832 & 833, Cnr Hermitage Way & Gregory Hills Drive, Gledswood Hill

SITE IMAGE

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Australia

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Drawing Name:
Landscape Masterplan Render

Scale: 1:200 @ A1
Job Number:
Drawing Number:
Sheet _of_ 1
Issue:

SS18-3998
L-C100 B

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A B C D E F G H J K L M N O P Q

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01

04

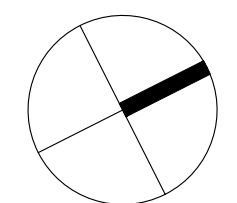
02

03

B	Section 4.55	NPE	RS	29.04.2019
A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

LEGEND	
	Tree to be Retained
	Proposed Tree Planting
	Proposed Shrub / Accent Planting
	Proposed Groundcover & Grass Planting
	Turf
	P1 - Paving Type 1
	P2 - Paving Type 2
	P3 - Paving Type 3
	P4 - Paving Type 4
	P5 - Paving Type 5
	TE - Timber Edging
	SE - Steel Edging
	Sandstone Stepping Stones
	Timber Sleeper Path
	Sandstone Log Bench
	Timber Stump Steppers
	Balancing Beam
	Timber Tolems
	Pot Plants
	TST1 - Table Setting 1
	BS1 - Bench Seat 1
	BS2 - Bench Seat 2
	BS3 - Bench Seat 3
	HT - Hose Tap
	BL - Bollard Light
	UL - Uplight
	Grated Inlet Pit

Key Plan:



Client:
Hermitage Healthcare Pty Ltd

Architect:
Anthony Vavayis + Associates

Project:
Hermitage Health Care
Lot 832 & 833, Cnr Hermitage Way &
Gregory Hills Drive, Gledswood Hill

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Landscape Masterplan

Scale: 1:200 @ A1

Job Number:
SS18-3998

Sheet _ of _
Drawing Number:
L-100

Issue:
B

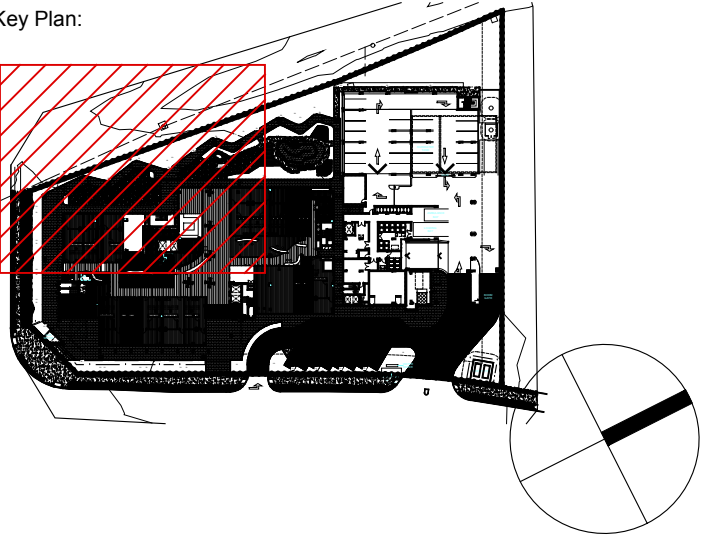
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A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

- LEGEND**
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 - P4 - Paving Type 4
 - P5 - Paving Type 5
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 - SE - Steel Edging
 - Sandstone Stepping Stones
 - Timber Sleeper Path
 - Sandstone Log Bench
 - Timber Stump Steppers
 - Balancing Beam
 - Timber Toilems
 - Pot Plants
 - TS1 - Table Setting 1
 - BS1 - Bench Seat 1
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 - HT - Hose Tap
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SECTION 4.55

Drawing Name:
Landscape Plan A

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Job Number:
SS18-3998

Sheet _ of _
Drawing Number:
L-101

Issue:
B

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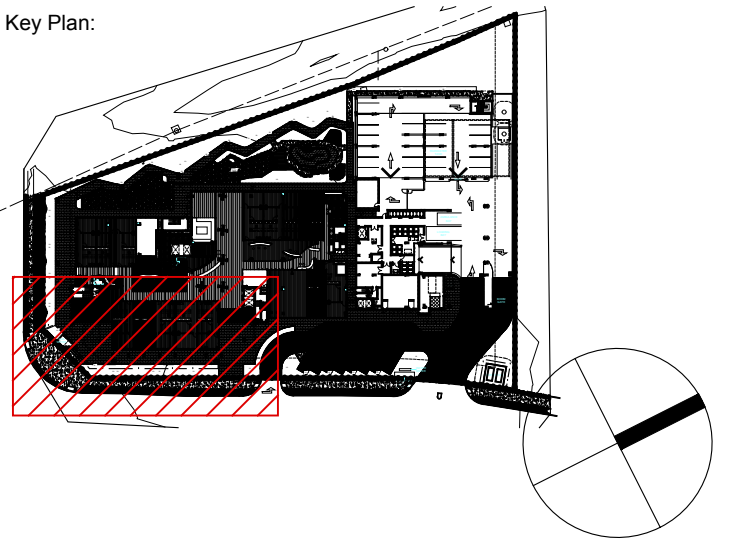
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A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

- LEGEND**
- Tree to be Retained (refer materials schedule)
 - Proposed Tree Planting (refer planting plans)
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 - Proposed Groundcover & Grass Planting (refer planting plans)
 - Turf (refer specifications)
 - P1 - Paving Type 1 (refer materials schedule)
 - P2 - Paving Type 2 (refer materials schedule)
 - P3 - Paving Type 3 (refer materials schedule)
 - P4 - Paving Type 4 (refer materials schedule)
 - P5 - Paving Type 5 (refer materials schedule)
 - TE - Timber Edging (refer materials schedule)
 - SE - Steel Edging (refer materials schedule)
 - Sandstone Stepping Stones (refer materials schedule)
 - Timber Sleeper Path (refer materials schedule)
 - Sandstone Log Bench (refer materials schedule)
 - Timber Stump Steppers (refer materials schedule)
 - Balancing Beam (refer materials schedule)
 - Timber Totems (refer materials schedule)
 - Pot Plants (refer planting plans & materials schedule)
 - TS1 - Table Setting 1 (refer materials schedule)
 - BS1 - Bench Seat 1 (refer materials schedule)
 - BS2 - Bench Seat 2 (refer materials schedule & details)
 - BS3 - Bench Seat 3 (refer materials schedule & details)
 - HT - Hose Tap (refer hydraulic data)
 - BL - Bollard Light (Refer Elec. Eng. Drawings)
 - UL - Up Light (Refer Elec. Eng. Drawings)
 - Grated Inlet Pit (Refer Civil Drawings)



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Architect:
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Landscape Plan B

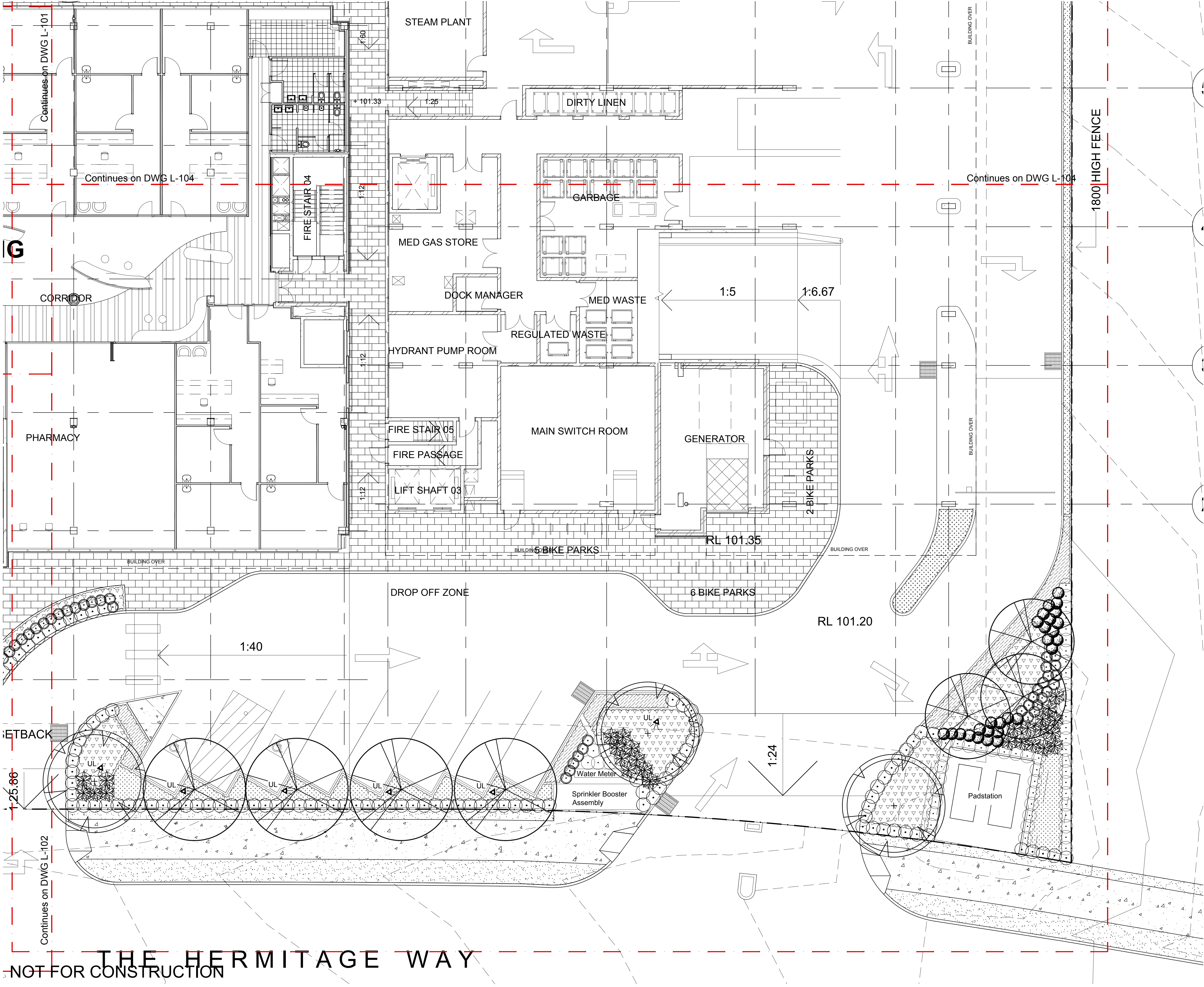
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Job Number:
SS18-3998

Sheet _ of _
Drawing Number:
L-102

Issue:
B

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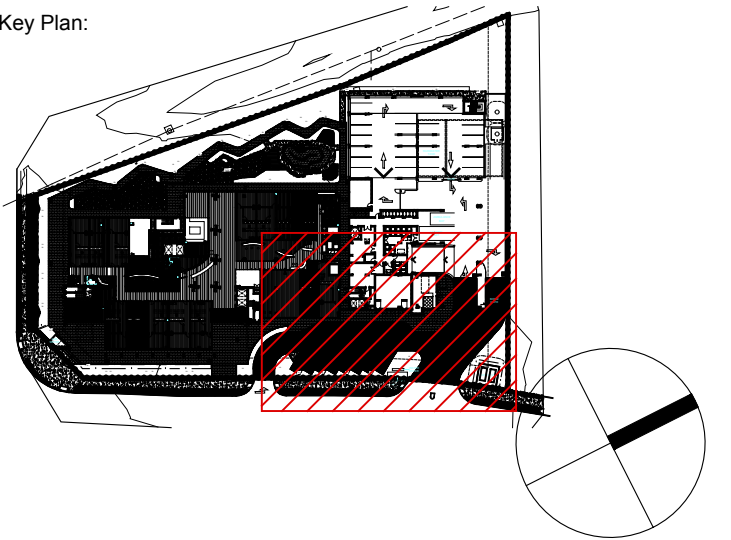


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Issue	Revision Description	Drawn	Check	Date

- LEGEND**
- Tree to be Retained
 - Proposed Tree Planting
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 - Turf
 - P1 - Paving Type 1
 - P2 - Paving Type 2
 - P3 - Paving Type 3
 - P4 - Paving Type 4
 - P5 - Paving Type 5
 - TE - Timber Edging
 - SE - Steel Edging
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 - Sandstone Log Bench
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Landscape Architects

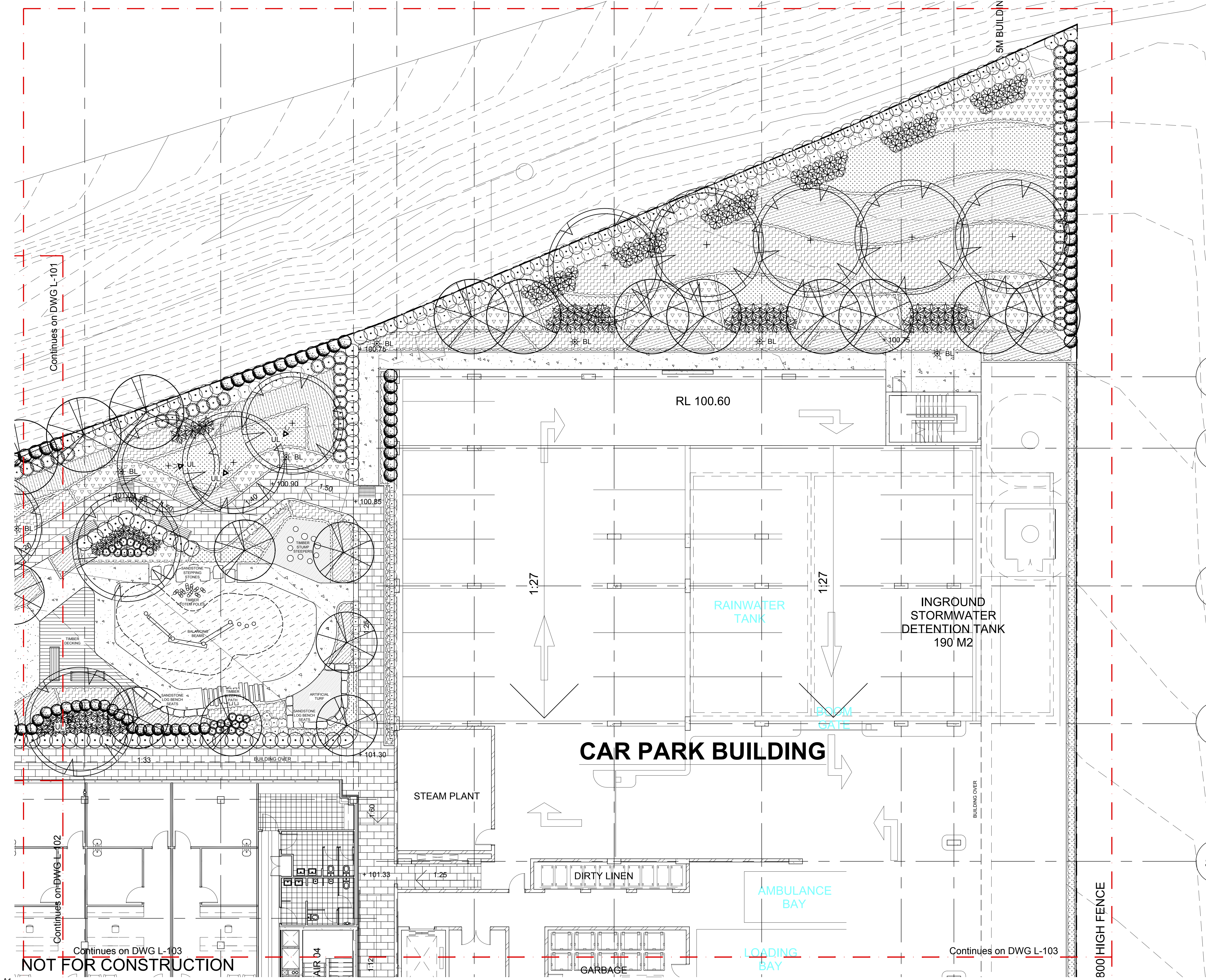
SECTION 4.55

Drawing Name:
Landscape Plan C

Scale: 1:100 @ A1
Job Number:
SS18-3998

Sheet _ of _
Drawing Number:
L-103

Issue:
B

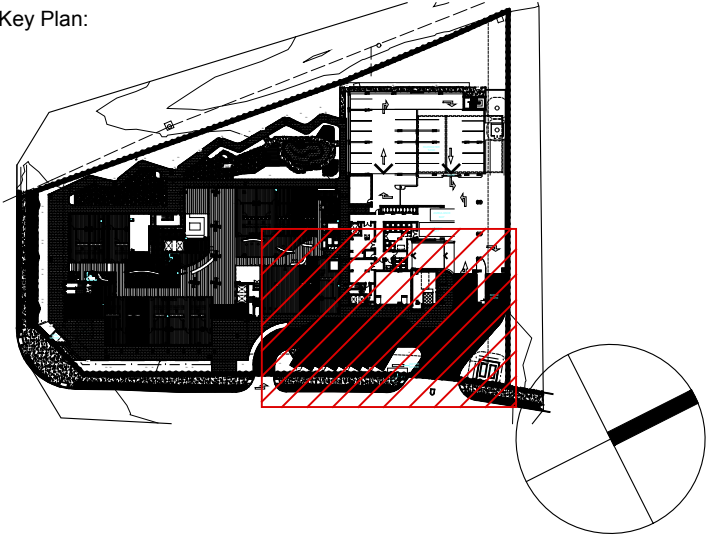


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LEGEND	
	Tree to be Retained
	Proposed Tree Planting (refer planting plans)
	Proposed Shrub / Accent Planting (refer planting plans)
	Proposed Groundcover & Grass Planting (refer planting plans)
	Turf (refer specifications)
	P1 - Paving Type 1 In situ Concrete Path
	P2 - Paving Type 2 Unit Pavers
	P3 - Paving Type 3 Composite Timber Decking
	P4 - Paving Type 4 Softia Mulch
	P5 - Paving Type 5 Artificial Turf
	TE - Timber Edging
	SE - Steel Edging (refer materials schedule)
	Sandstone Stepping Stones (refer materials schedule)
	Timber Sleeper Path (refer materials schedule)
	Sandstone Log Bench (refer materials schedule)
	Timber Stump Steppers (refer materials schedule)
	Balancing Beam (refer materials schedule)
	Timber Tolems (refer materials schedule)
	Pot Plants (refer planting plans & materials schedule)
	TS1 - Table Setting 1 (refer materials schedule)
	BS1 - Bench Seat 1 (refer materials schedule)
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	HT - Hose Tap (refer hydraulic docs)
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	UL - UpLight (Refer Elec. Eng. Drawings)
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SECTION 4.55

Drawing Name:
Landscape Plan D

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Job Number:
Drawing Number:
Sheet _ of _
Issue:

SS18-3998 **L-104** **B**

SPECIFICATION - GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES AND SHRUBS

Trees and Shrubs to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work Near Trees and Shrubs

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under foliage canopies or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown building materials, such as cement, from covering trees and other plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGSi and Edging

Construct garden walls, fences, steps, TGSi and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm. If laying unit pavers in a cement mortar bed on a concrete sub-base ensure that joints in paving match the location of joints in the concrete. Refer to engineer's details for heavy duty slabs, concrete stairs, concrete strength, reinforcing, and joint type and placement.

SOFTWARES

Site Soil Testing

Where site soil is to be retrieved from site and stored on site for reuse, undertake at least two (2) soil tests in locations as advised by the Project Manager or as shown on the plans. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush

- with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved Forest Fines bark material, sourced from Australian Native Landscapes or approved equivalent. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants >25 lt: 1 off 38 x 38 x 1200mm;
- Semi-advanced plants >75 lt: 2 off 50x50x 1800mm;
- Advanced plants >100 lt: 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it form drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

Species: *Stenotaphrum secundatum* Sir Walter Soft-leaf Buffalo.

IRRIGATION

Scope: Unless otherwise noted or instructed irrigate all planted areas shown on plans including planters, tubs, gardens, turf and the like.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;

- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
 - if ever possible;
 - in wet weather or if wet weather is imminent;
 - if target plants are still wet after rain;
 - in windy weather; and
 - if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name,
- Chemical / product name,
- Chemical contents,
- Application quantity and rate,
- Date of application and location,
- Results of application, and
- Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.

- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.

- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.

- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

- Erosion control** - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

SS18-3998 Hermitage Healthcare Gledswood					
Plant Schedule					
SYMBOL	BOTANIC NAME	COMMON NAME	MATURE SIZE (h x w) (m)	SPACING	POT SIZE
TREES					
Ac	<i>Angophora costata</i>	Smooth Barked Apple	25.0 x 14.0	As Shown	200L
As	<i>Acmena smithii</i>	Lilly Pilly	12.0 x 6.0	As Shown	100L
Bs	<i>Banksia serrata</i>	Old Man Banksia	4.0 x 3.0	As Shown	100L
Cc	<i>Casuarina cunninghamiana</i>	River She Oak	12.0 x 7.0	As Shown	100L
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	15.0 x 7.0	As Shown	200L
Cc	<i>Corymbia citriodora</i>	Lemon Scented Gum		As Shown	100L
Cg	<i>Corymbia gummifera</i>	Red Bloodwood	22.0 x 14.0	As Shown	200L
Cm	<i>Corymbia maculata</i>	Grey Box	22.0 x 13.0	As Shown	200L
Er	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	10.0 x 5.0	As Shown	200L
Em	<i>Eucalyptus moluccana</i>	Grey Box	25.0 x 10.0	As Shown	200L
LiN	<i>Lagerstroemia indica</i> 'Natchez'	Natchez Crepe Myrtle	5.0 x 3.0	As shown	100L
MLG	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Magnolia	6.0 x 3.0	As Shown	100L
MI	<i>Melaleuca linearifolia</i>	Snow in Summer	8.0 x 4.0	As Shown	100L
TiL	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	8.0 x 6.0	As Shown	100L
PcC	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Capital Pear	11.0 x 6.0	As Shown	200L

SHRUBS					
Aa	<i>Asplenium australasicum</i>	Birds Nest Fern	1.5 x 2.0	As Shown	300mm
AiR	<i>Alcantarea imperialis</i> 'Rubra'	Imperial Bromeliad	1.0 x 1.0	As Shown	300mm
Br	<i>Banksia robour</i>	Swamp Banksia	2.0 x 2.0	As Shown	300mm
BJ	<i>Buxus microphylla</i> var. <i>japonica</i>	Japanese Box	1 x 0.5	As Shown	300mm
Cmi	<i>Clivia miniata</i>	Kaffir Lilly	0.6 x 0.6	As Shown	300mm
Cr	<i>Cycas revoluta</i>	Sago Palm	1.5 x 1.0	As Shown	300mm
CwM	<i>Callistemon viminalis</i> 'Macarthur'	Camellia	1.8 x 1.5	As Shown	300mm
De	<i>Doranthhes excelsa</i>	Gymea Lilly	2.0 x 2.0	As Shown	300mm
GRG	<i>Grevillea</i> 'Robyn Gordon'	Grevillea	1.5 x 1.5	As Shown	300mm
la	<i>Indigofera australis</i>	Australian Indigo	2.0 x 2.0	As Shown	300mm
Mt	<i>Melaleuca thymifolia</i>	Thyme Honey Myrtle	1.2 x 1.2	As Shown	300mm
Mp	<i>Muraya paniculata</i>	Orange Jessamine	3.0 x 2.0	As Shown	300mm
NdO	<i>Nandina domestica</i> 'Obsession'	Dwarf Sacred Bamboo	0.6 x 0.6	As Shown	300mm
PBB	<i>Phormium tenax</i> 'Bronze Baby'	Bronze Baby NZ Flax	0.8 x 0.8	As Shown	300mm
Px	<i>Philodendron xanadu</i>	Xanadu	1.2 x 1.2	As Shown	300mm
Re	<i>Rhapis excelsa</i>	Broad-Leaf Lady Palm	2.0 x 1.0	As Shown	300mm
ROP	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Indian Hawthorn Oriental Pearl	1.5 x 1.0	As Shown	300mm
RSM	<i>Rhaphiolepis indica</i> 'Snow Maiden'	Indian Hawthorn Snow Maiden	0.75 x 0.5	As Shown	300mm
SIC	<i>Syzygium luehmannii</i> 'Cascade'	Lilly Pilly	2.0 x 1.5	As Shown	300mm
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	3.0 x 2.0	As Shown	300mm
WiN	<i>Westringia fruticosa</i> 'Naringa'	Naringa Coastal Rosemary	1.2 x 1.0	As Shown	300mm
Zf	<i>Zamia furfuracea</i>	Cardboard Cycad	1 x 1	As Shown	300mm

GRASSES & GROUNDCOVER PLANTING					
ABR	<i>Anigozanthos 'Big Red'</i>	Big Red Kangaroo Paw	1.0 x 1.0	5/m²	140mm
DLJ	<i>Dianella caerulea</i> 'Little Jess'	Little Jess blue flax Lilly	0.4 x 0.4	5/m²	140mm
Dr	<i>Dichondra repens</i>	Kidney Weed	0.1 x 0.5	5/m²	140mm
DSF	<i>Dichondra argenta</i> 'Silver Falls'	Silver Falls Kidney Weed	0.1 x 0.5	5/m²	140mm
HwM	<i>Hardenbergia violacea</i> 'Meema'	Meema Purple Coral Pea	0.5 x 1.0	5/m²	140mm
Hs	<i>Hibbertia scandens</i>	Snake Vine	0.5 x 1.0	5/m²	140mm
LEG	<i>Liriope muscari</i> 'Evergreen Giant'	Just Right Lilly Turf	0.4 x 0.4	5/m²	140mm
LT	<i>Lomandra longifolia</i> 'Tankia'	Tanika Mat Rush	0.8 x 0.8	As shown	140mm
Mpa	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.1 x 1.0	5/m²	140mm
PaN	<i>Pennisetum alopecuroides</i> 'Nafray'	Swamp Foxtail Grass	1.0 x 1.0	5/m²	140mm
PPL	<i>Pennisetum alopecuroides</i> 'Purple Lea'	Purple Lea Swamp Foxtail	1.0 x 1.0	5/m²	140mm
PpK	<i>Poa poriformis</i> 'Kingsdale'	Eskdale Tussock	0.9 x 0.6	5/m²	140mm
Ta	<i>Themeda australis</i>	Kangaroo Grass	0.7 x 0.5	3/m²	140mm
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.75 x 1	5/m²	140mm
Turf		Sir Walter Buffalo			
PBB					

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B	Section 4.55	NPE	RS	29.04.2019
A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:

Client:

Hermitage Healthcare Pty Ltd

Architect:

Anthony Vavayis + Associates

Project:

Hermitage Health Care

Lot 832 & 833, Cnr Hermitage Way &

Gregory Hills Drive, Gledswood Hill

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SECTION 4.55

Drawing Name:

Landscape Specification &

Plant Schedule

Scale:

Job Number:

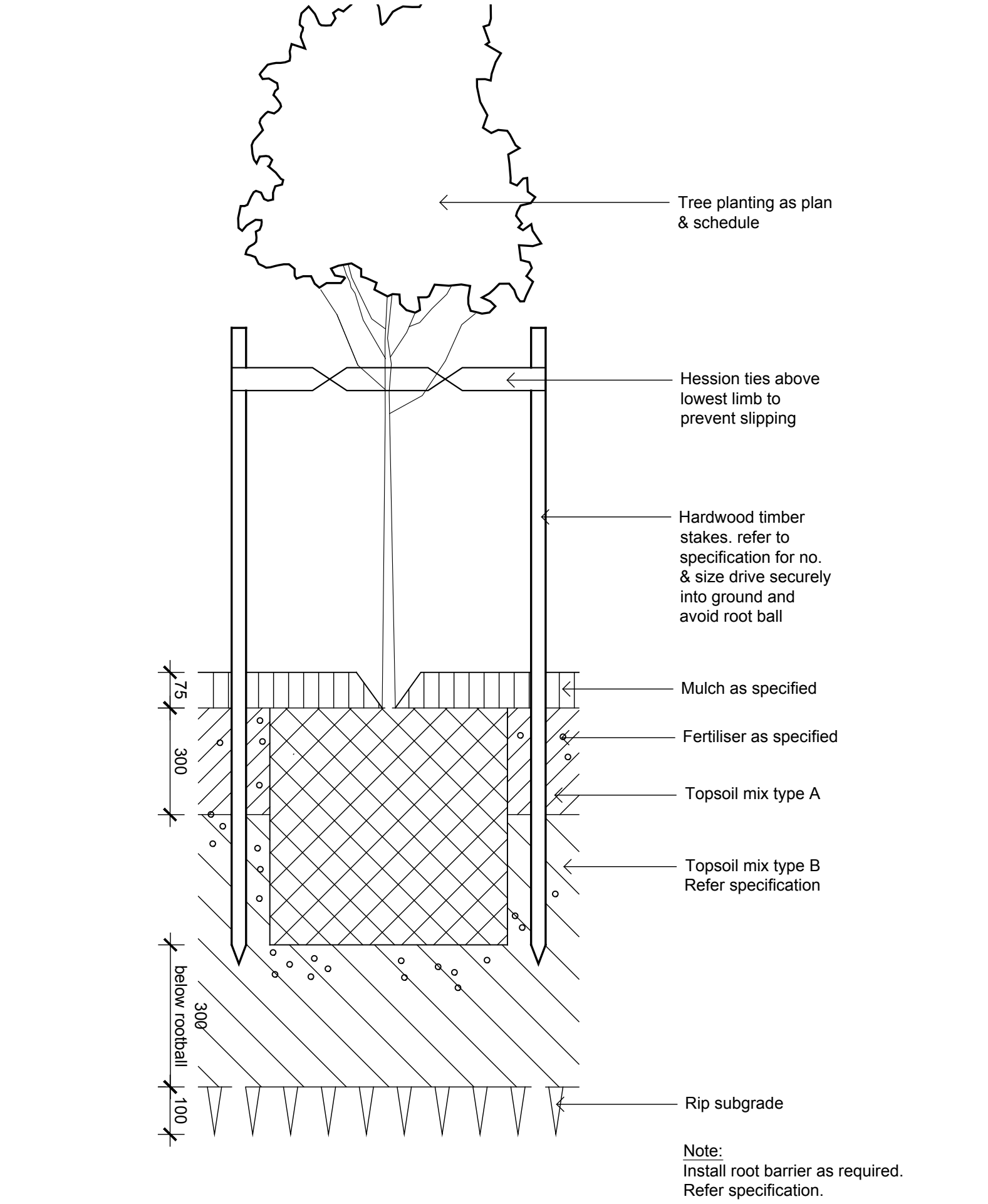
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Sheet _ of _

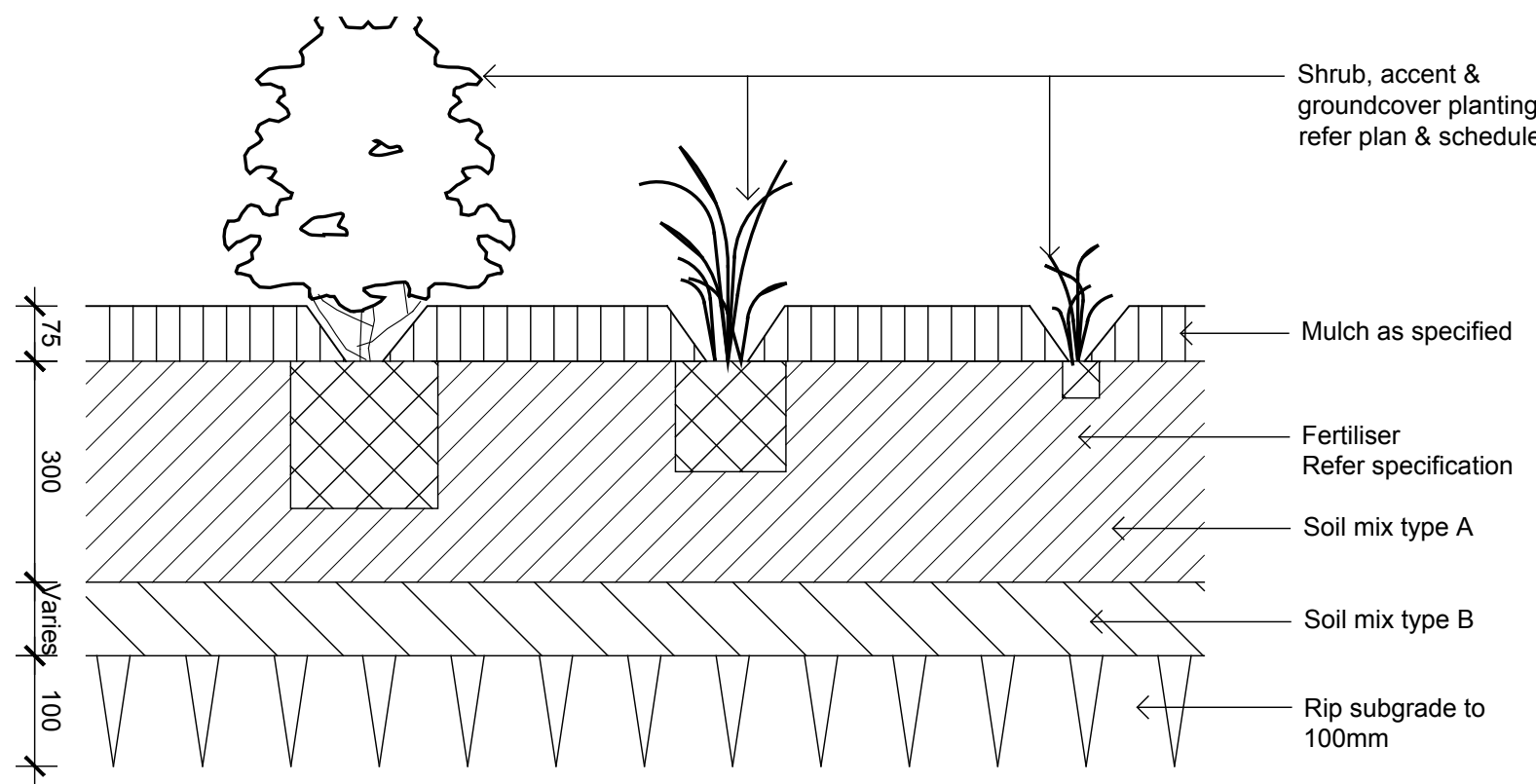
SS18-3998

L-501 B

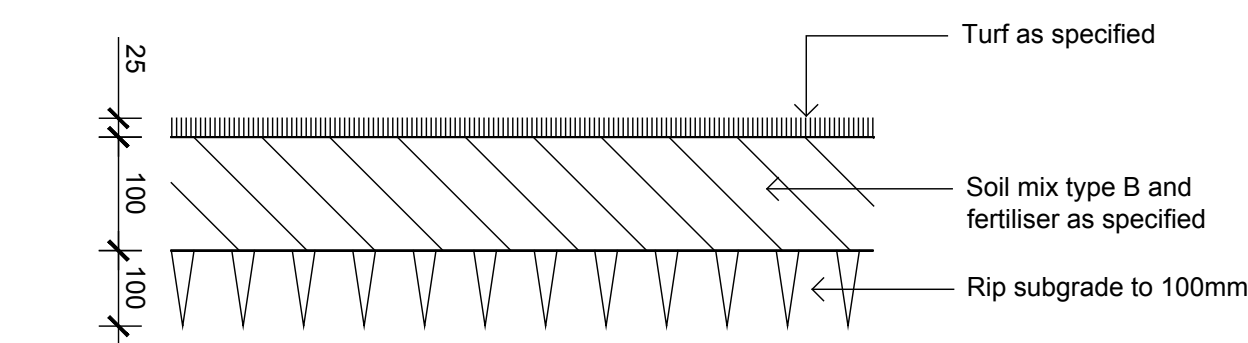
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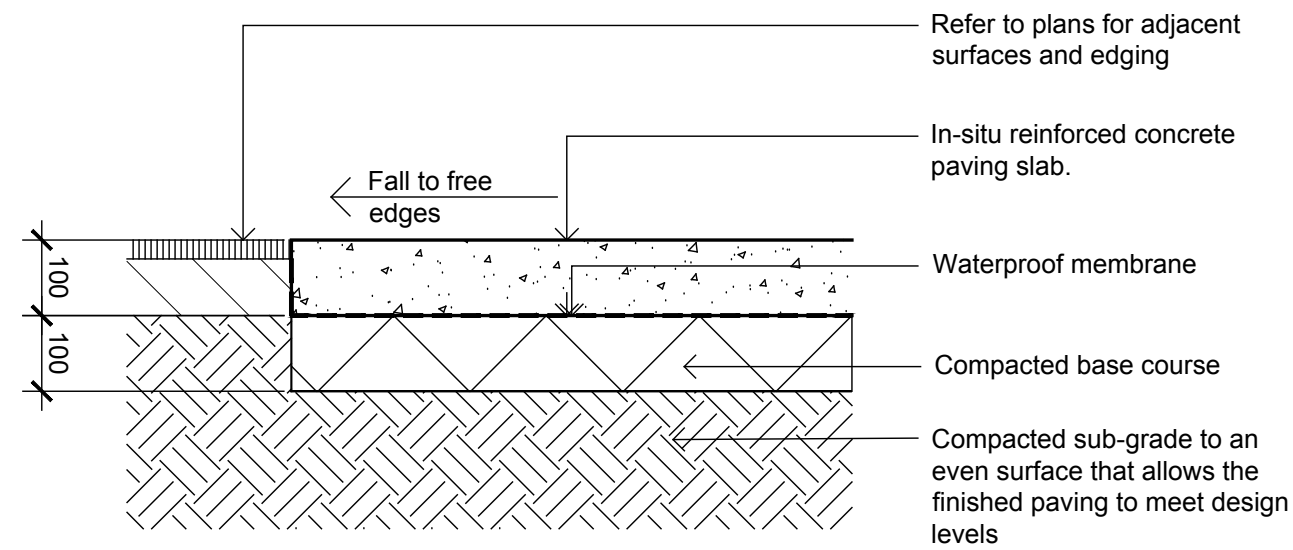
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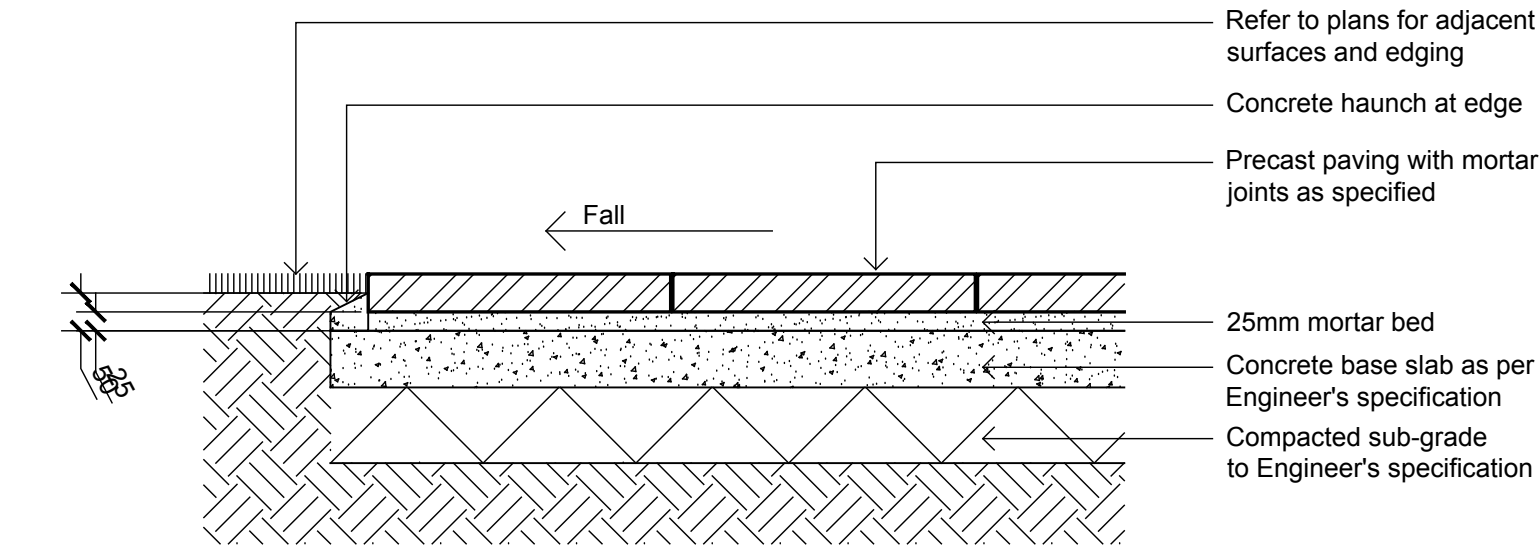
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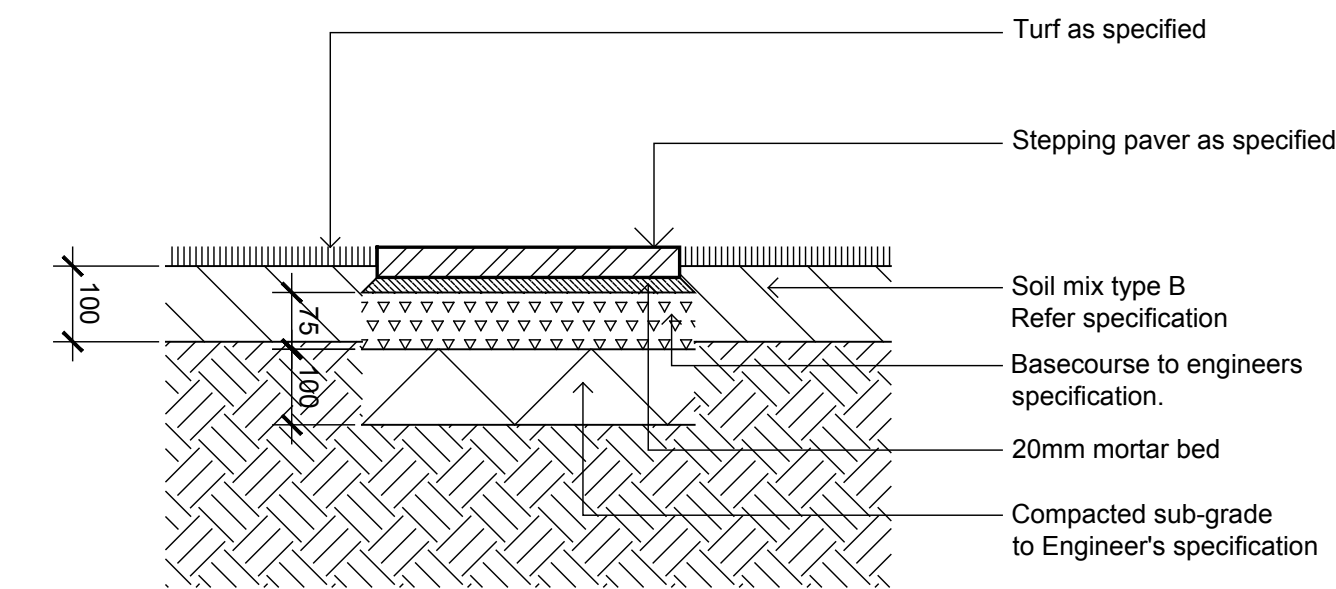
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Detail Turf on Even Grade



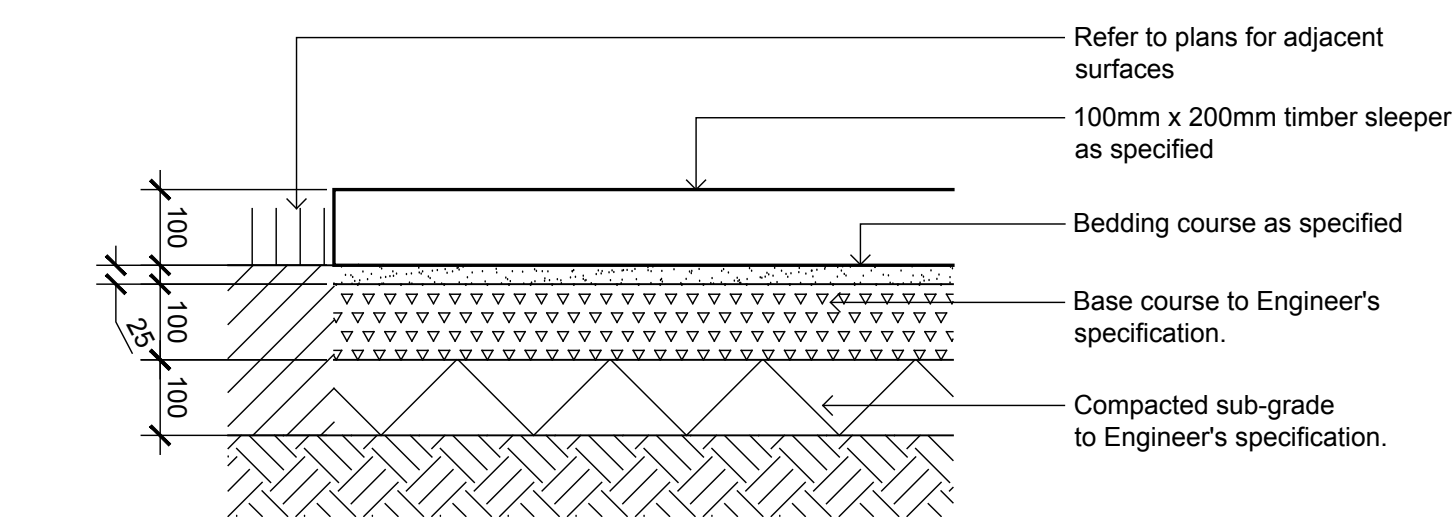
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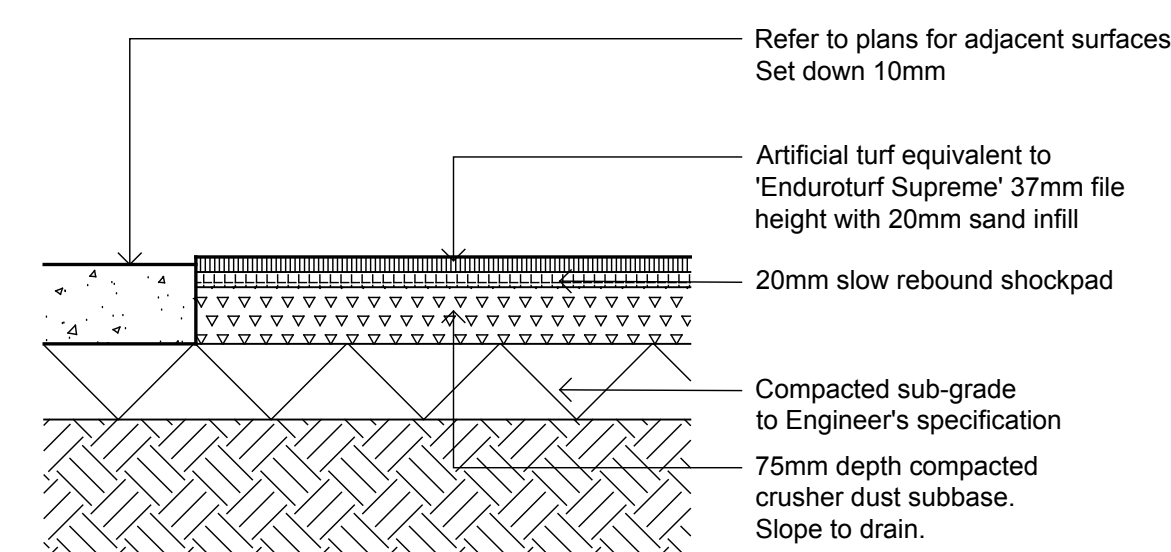
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502
SCALE 1:10
PRECAST UNIT PAVERS ON CONC SLAB



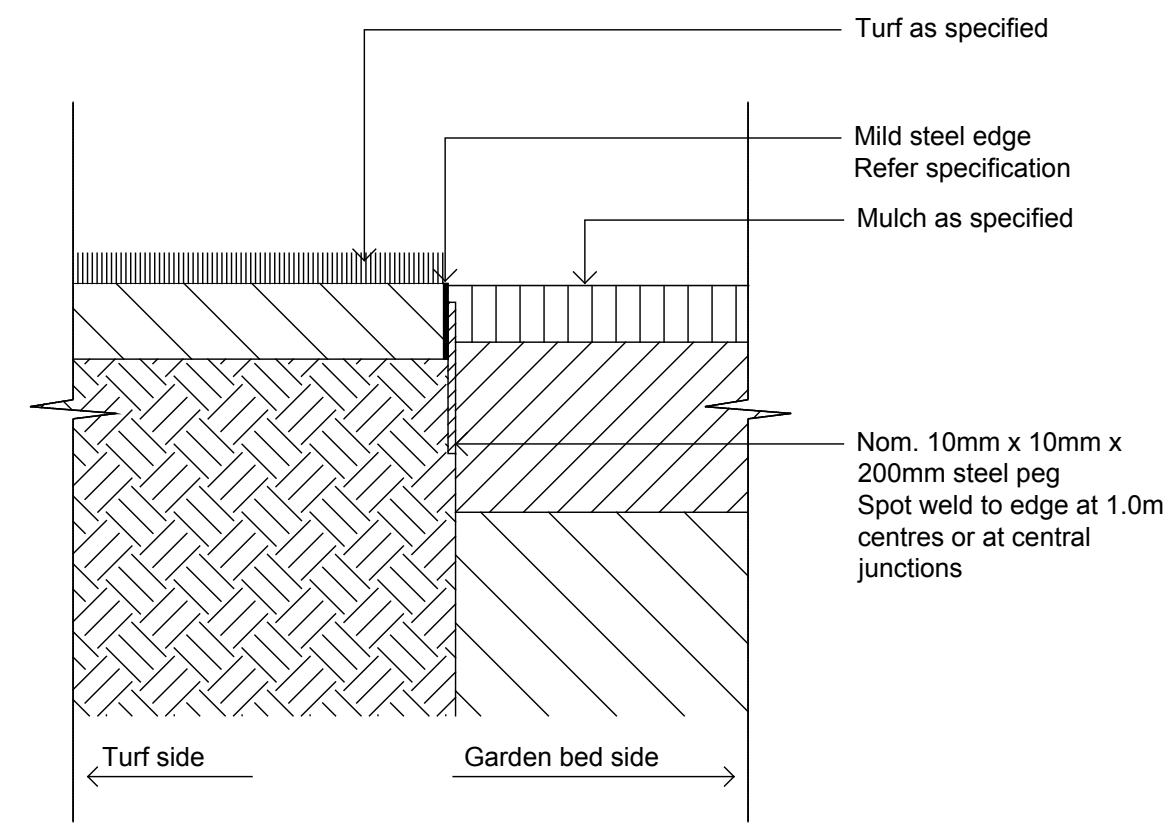
06
502
SCALE 1:10
STEPPING PAVER IN TURF ON GRADE



07
502
SCALE 1:10
TIMBER SLEEPER PATH



08
502
SCALE 1:10
ARTIFICIAL TURF



09
502
SCALE 1:10
TYPICAL MILD STEEL EDGE

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B	Section 4.55	NPE	RS	29.04.2019
A	For Coordination	NPI	RS	10.12.2018
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:

Client:
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Architect:
Anthony Vavayis + Associates

Project:
Hermitage Health Care
Lot 832 & 833, Cnr Hermitage Way &
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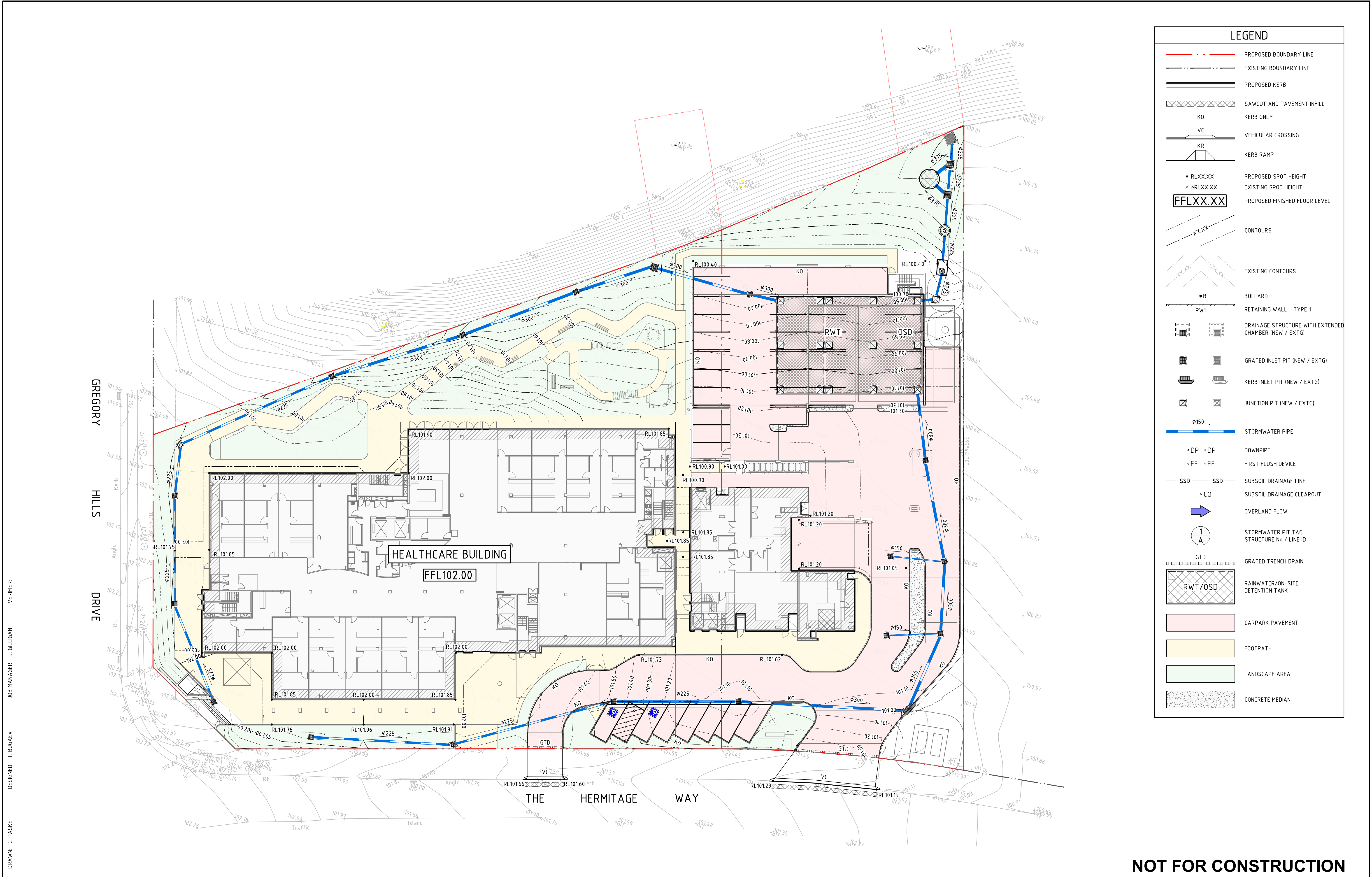


SECTION 4.55

Drawing Name:
Landscape Details

Scale:
Job Number:
Drawing Number:
Issue:
SS18-3998
L-502 B

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LEGEND	
	PROPOSED BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED KERB
	SAWCUT AND PAVEMENT INFILL
	K0
	VEHICULAR CROSSING
	KERB RAMP
	PROPOSED SPOT HEIGHT
	EXISTING SPOT HEIGHT
	PROPOSED FINISHED FLOOR LEVEL
	CONTOURS
	EXISTING CONTOURS
	BOLLARD
	RETAINING WALL - TYPE 1
	DRAINAGE STRUCTURE WITH EXTENDED CHAMBER (NEW / EXTG)
	GRATED INLET PIT (NEW / EXTG)
	KERB INLET PIT (NEW / EXTG)
	JUNCTION PIT (NEW / EXTG)
	STORMWATER PIPE
	DOWNPIPE
	FIRST FLUSH DEVICE
	SUBSOIL DRAINAGE LINE
	SUBSOIL DRAINAGE CLEAROUT
	OVERLAND FLOW
	STORMWATER PIT TAG STRUCTURE No / LINE ID
	GRATED TRENCH DRAIN
	RAINWATER/ON-SITE DETENTION TANK
	CARPAK PAVEMENT
	FOOTPATH
	LANDSCAPE AREA
	CONCRETE MEDIAN

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REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT	ARCHITECT	PROJECT	DRAWING TITLE	JOB NUMBER
1	ISSUED FOR INFORMATION	CP		JG	28.11.18	HERMITAGE HEALTHCARE PTY LTD	ANTHONY VAVAYIS + ASSOCIATES ARCHITECTS	HERMITAGE HEALTHCARE 1A - 1B HERMITAGE WAY, GLEDSDOOD HILLS	CIVIL ENGINEERING WORKS	161992
2	ISSUED FOR S.4.55 APPROVAL	VC		JG	24.04.19				SITeworks and Stormwater Management Plan	
						DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED	THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ENGINEERS PTY LTD	NORTHROP Sydney Level 11 345 George Street, Sydney NSW 2000 Ph (02) 9241 4188 Fax (02) 9241 4324 Email sydney@northrop.com.au ABN 81 094 433 100		
						SCALE 1:250@A1		DRAWING SHEET SIZE = A1		